

Received & Filed at meeting 10/15/15

Aaron Jones

From: Marcelle McCullough <MMcCullough@pvestates.org>
Sent: Thursday, October 15, 2015 3:13 PM
To: Aaron Jones
Subject: Planning Commission - Request to Receive and File 10/15/15 Meeting

Importance: High

Dear Commissioners,

Please consider receiving and filing my comments below in reference to the agenda item below:

Public Hearing Item 8: A Public Hearing for consideration of an Exemption Declaration, Coastal Development Permit, and Planning Commission Design Review to allow tandem/valet parking for a new commercial building to be constructed on property located within a Mixed-Use (MU-3C) zone in the Coastal Zone.

APPLICANT: Buena Vista Real Estate Holdings, Inc.
PROPERTY OWNER: Same as applicant
LOCATION: 221 Avenue I
CASE NO.: 2015-10-PC-014
RECOMMENDATION: Approve with conditions

As a resident of Redondo Beach I recently held my husband's catered retirement party at Mr. Wynn's property at 221 Avenue I. The location would be well suited for a high end restaurant as is proposed. Having a higher end dining experience in the Hollywood Riviera (and Redondo as a whole) would increase the draw from surrounding cities such as Hermosa and Manhattan Beach. It will also add a cohesiveness for the Riviera to the upgrades being discussed at the harbor. It would also assist in supporting those local businesses on Catalina.

Having convenient off street parking would not only be welcome but almost expected to their patrons.

Thank you for your consideration.

*Marcelle McCullough
719 S. Pacific Coast Highway, #B
Redondo Beach, CA 90277
310-346-8551*

_____ Information from ESET Endpoint Antivirus, version of virus signature database 12414 (20151015)

The message was checked by ESET Endpoint Antivirus.



CITY OF REDONDO BEACH

BLUE FOLDER ITEMS

Blue folder items are additional back up material to administrative reports and/or public comments received after the printing and distribution of the agenda packet for receive and file.

Regular Meeting of the Planning Commission October 15, 2015

VII. PUBLIC HEARINGS

8. A Public Hearing for consideration of an Exemption Declaration, Coastal Development Permit, and Planning Commission Design Review to allow tandem/valet parking for a new commercial building to be constructed on property located within a Mixed-Use (MU-3C) zone in the Coastal Zone.

APPLICANT:	Buena Vista Real Estate Holdings, Inc.
PROPERTY OWNER:	Same as applicant
LOCATION:	221 Avenue I
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RECOMMENDATION:	Approve with conditions

- Comment letters received after the distribution of the agenda
 - Alexander Lovi dated October 15, 2015
 - Bert Centofante dated October 15, 2015

LOVI
PROPERTIES
REAL ESTATE INVESTMENTS



October 15, 2015

City of Redondo Beach

RE: 221 Avenue I

Permit File # 2015-10-CDP-010

ATT: Planning Commissioners

We are the Owner's of property 229 Avenue I, Redondo Beach, CA 90277 and are strongly opposing the development of the new Commercial Building (referenced above) that will not have sufficient parking to begin with.

There is extremely insufficient parking now, and the overflow with another commercial building will take the spaces that are needed for the current retailers will be nonexistent. No one will want to park Valet Service and give tips.

Very Truly Yours,

Alexander Lovi

Property Owner of

229 Avenue I

225 Avenue I, L.P.
Redondo Beach, CA 90277
310.540.1775

October 15, 2015

City of Redondo Beach
Attn: Planning Division
415 Diamond Avenue, Door E
Redondo Beach, CA 90277



RE: 221 Avenue I
Redondo Beach, CA 90277
Case Number #2015-10-PC-014

To Whom It May Concern:

We are in receipt of the notice from the City of Redondo Beach regarding the proposed construction on the adjacent parcel to our commercial building located at the above referenced location and would like to take this opportunity to voice our concerns with this project. While we generally approve the design of the building, we have major concerns with the proposed substructure and parking.

During construction of our building in 1990 we hit water and with much of the village essentially built on sand, the proposal of the adjacent parcel to go subterranean on a lot half the size of ours is an issue. This building will require major structural reinforcement and steel and this construction could cause movement and settling of our building, which is the biggest and most serious problem.

The proposed use of valet parking does not seem well thought out and we do not have a shared parking agreement with this neighbor nor do we support the use of our parking lot to provide additional parking for the restaurant. The stacking of cars in the subterranean lot will pose problems and the impact on the neighboring private parking lots from patrons who do not wish to use the valet parking is unwanted and to be expected.

Should the City approve this project, it is imperative that the project is adequately financed and insured against the risks of these types of perils. We request that the plans are carefully examined and approval is not granted until there is absolute certainty that our concerns will not come to fruition and problematic for us, the adjacent property owner and the City. Please be advised that should there be any shifting or settling of our property due to this construction or a negative impact on our property, we will have no choice but to take legal action against the property owner and the City of Redondo Beach.

Sincerely,

A handwritten signature in black ink, appearing to read "Bert Centofante".

Bert Centofante
Partner
225 Avenue I, L.P.

cc via email: Aaron Jones, City Planner
Marianne Gastelum, Assistant Planner



CITY OF REDONDO BEACH

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Regular Meeting of the Planning Commission October 15, 2015

VII. PUBLIC HEARINGS

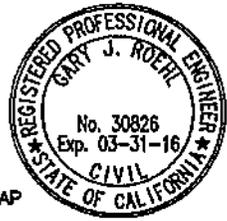
9. A Public Hearing for consideration of an Exemption Declaration and Lot Line Adjustment to realign the property line between two adjacent parcels to reconfigure each parcel to the lot depth consistent with the original area subdivision on properties located within a Low-Density Multiple-Family Residential (R-3) zone.

APPLICANT:	204 S. Helberta LLC / Evgeny Kernes
PROPERTY OWNER:	Same as applicants
LOCATION:	204 S. Helberta Avenue / 205 S. Irena Avenue
CASE NO.:	2015-10-PC-015
RECOMMENDATION:	Approve with conditions

- Revised Exhibits signed by City Engineer

EXHIBIT A

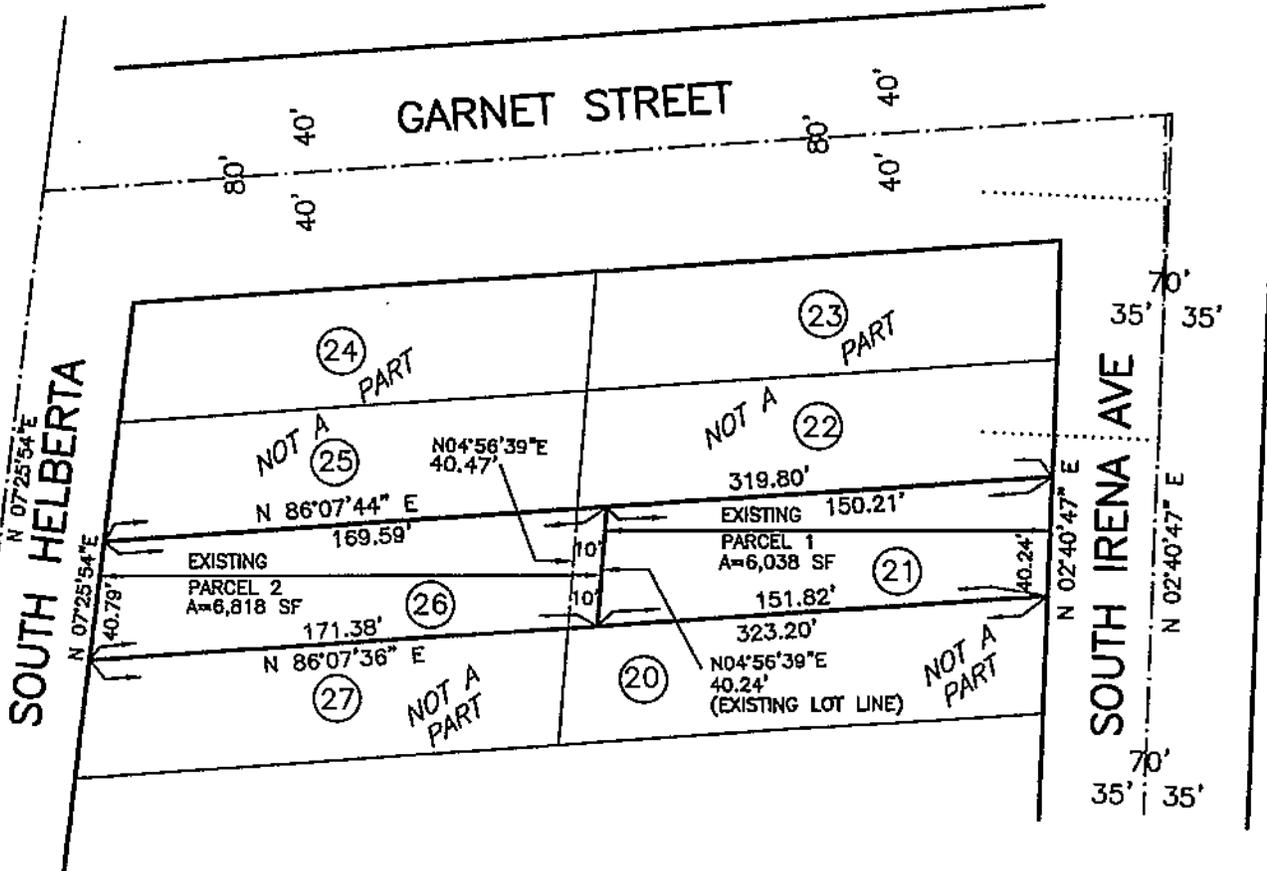
EXISTING PARCELS 1&2



THIS MAP PREPARED BY:

Greg A. Powell 10-15-13
 GARY J. ROEHL DATE
 RCE 30826, EXP 3/31/2016
 DENN ENGINEERS
 3914 DEL AMO BLVD., STE 921
 TORRANCE, CA 90503

NOTES:
 THIS LEGAL DESCRIPTION SHALL NOT BE USED FOR THE DIVISION
 AND/OR CONVEYANCE OF LAND IN VIOLATION OF THE SUBDIVISION MAP
 ACT OF THE STATE OF CALIFORNIA.



AREAS	
EXISTING PARCELS:	PROPOSED PARCELS:
PARCEL 1 = 6,038 S.F.	PARCEL 1 = 6,443 S.F.
PARCEL 2 = 6,818 S.F.	PARCEL 2 = 6,413 S.F.

OWNERSHIP
 205 SOUTH IRENA AVENUE (PARCEL 1):
 EVGENY KERNES
 204 SOUTH HELBERTA AVENUE (PARCEL 2):
 HELBERTA COURTS, LLC

VICINITY MAP (NOT TO SCALE)



CITY OF REDONDO BEACH
 PUBLIC WORKS DEPARTMENT
 ENGINEERING SERVICES DIVISION

MAP SHOWING LOT LINE ADJUSTMENT ON
 204 SOUTH HELBERTA AVENUE & 205 SOUTH IRENA AVENUE
 LOTS 21 AND 26, BLOCK 100, TOWNSITE OF REDONDO BEACH,
 COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

SUBMITTED BY: <i>Antonio Sharbawi</i>	REFERENCE: TOWNSITE OF REDONDO BEACH	SCALE: 1"=60'
APPROVED BY: <i>Wisam Attaway</i>	DATE: 10/15/15	DESIGNED BY: _____
		DRAWN BY: _____
	CHECKED BY: _____	

EXHIBIT A

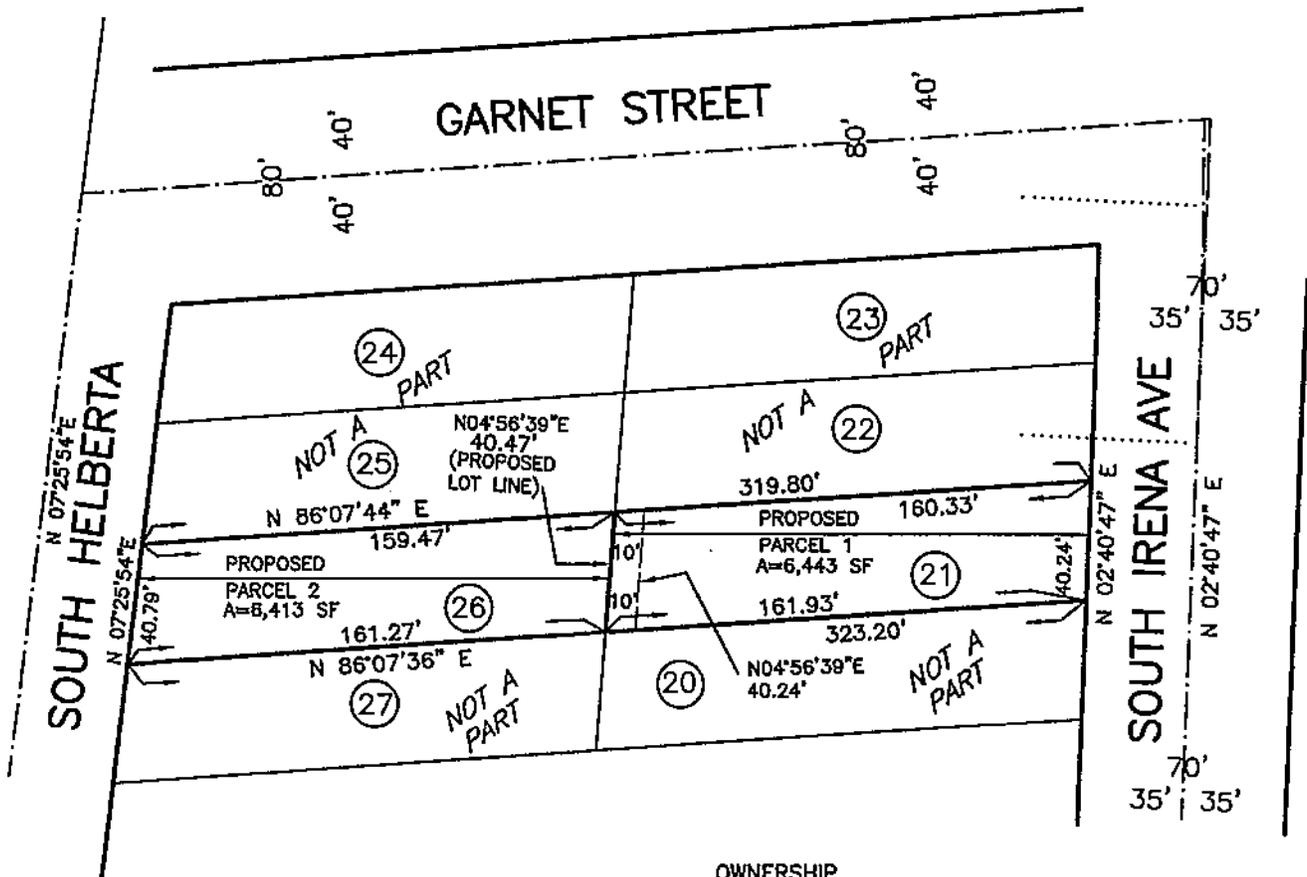
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205 SOUTH IRENA AVENUE (PARCEL 1):
EVGENY KERNES

204 SOUTH HELBERTA AVENUE (PARCEL 2):
HELBERTA COURTS, LLC

VICINITY MAP (NOT TO SCALE)



CITY OF REDONDO BEACH
PUBLIC WORKS DEPARTMENT
ENGINEERING SERVICES DIVISION

MAP SHOWING LOT LINE ADJUSTMENT ON
204 SOUTH HELBERTA AVENUE & 205 SOUTH IRENA AVENUE
LOTS 21 AND 26, BLOCK 100, TOWNSITE OF REDONDO BEACH,
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

SUBMITTED BY:
Antonio Shabawi

APPROVED BY: *Wilson Alvarado* DATE: *10/15/15*

REFERENCE:
TOWNSITE OF REDONDO BEACH

SCALE:
1"=60'

DESIGNED BY: DRAWN BY:

CHECKED BY: *[Signature]*

EXHIBIT "B"
EXISTING LEGAL DESCRIPTIONS
FOR LOT LINE ADJUSTMENT

204 SOUTH HELBERTA AVENUE & 205 SOUTH IRENA AVENUE

PARCEL 1: 205 SOUTH IRENA AVENUE; (A.P.N. 7506-012-026)

LOT 21, BLOCK 100, TOWNSITE OF REDONDO BEACH, IN THE CITY OF REDONDO BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 39 PAGES 1 THROUGH 17, INCLUSIVE, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; EXCEPTING THEREFROM THE WESTERLY 10 FEET THEREOF.

CONTAINING 6,038 SQUARE FEET, MORE OR LESS.

PARCEL 2: 204 SOUTH HELBERTA AVENUE; (A.P.N. 7506-012-027)

LOT 26 AND THE WESTERLY 10 FEET OF LOT 21, BLOCK 100, TOWNSITE OF REDONDO BEACH, IN THE CITY OF REDONDO BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 39 PAGES 1 THROUGH 17, INCLUSIVE, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

CONTAINING 6,818 SQUARE FEET, MORE OR LESS.

**AGENDA – REGULAR MEETING
PLANNING COMMISSION
CITY OF REDONDO BEACH
THURSDAY OCTOBER 15, 2015 – 7:00 P.M.
CITY COUNCIL CHAMBERS
415 DIAMOND STREET**

I. OPENING SESSION

1. Call Meeting to Order
2. Roll Call
3. Salute to the Flag

II. APPROVAL OF ORDER OF AGENDA

III. CONSENT CALENDAR

Routine business items, except those formally noticed for public hearing (agendized as either a “Routine Public Hearing” or “Public Hearing”), or those items agendized as “Old Business” or “New Business” are assigned to the Consent Calendar. The Commission Members may request that any Consent Calendar item(s) be removed, discussed, and acted upon separately. Items removed from the Consent Calendar will be taken up immediately following approval of remaining Consent Calendar items. Remaining Consent Calendar items will be approved in one motion.

4. Approval of Affidavit of Posting for the Planning Commission meeting of October 15, 2015.
5. Approval of the following minutes: Regular Meeting of September 17, 2015.
6. Receive and file the Strategic Plan Update of September 15, 2015.
7. Receive and file written communications.

IV. AUDIENCE OATH

V. EX PARTE COMMUNICATIONS

This section is intended to allow all officials the opportunity to reveal any disclosure or ex parte communication about the following public hearings.

VI. EXCLUDED CONSENT CALENDAR ITEMS

VII. PUBLIC HEARINGS

8. A Public Hearing for consideration of an Exemption Declaration, Coastal Development Permit, and Planning Commission Design Review to allow tandem/valet parking for a new commercial building to be constructed on property located within a Mixed-Use (MU-3C) zone in the Coastal Zone.

APPLICANT:	Buena Vista Real Estate Holdings, Inc.
PROPERTY OWNER:	Same as applicant
LOCATION:	221 Avenue I
CASE NO.:	2015-10-PC-014
RECOMMENDATION:	Approve with conditions

9. A Public Hearing for consideration of an Exemption Declaration and Lot Line Adjustment to realign the property line between two adjacent parcels to reconfigure each parcel to the lot depth consistent with the original area subdivision on properties located within a Low-Density Multiple-Family Residential (R-3) zone.

APPLICANT: 204 S. Helberta LLC / Evgeny Kernes
PROPERTY OWNER: Same as applicants
LOCATION: **204 S. Helberta Avenue / 205 S. Irena Avenue**
CASE NO.: 2015-10-PC-015
RECOMMENDATION: Approve with conditions

10. A Public Hearing for consideration of a Final Environmental Impact Report (SCH# 2013121065), Amendments to the General Plan, Coastal Land Use Plan and Coastal Zoning Ordinance, a Conditional Use Permit, Planning Commission Design Review, Coastal Development Permit, and Vesting Tentative Parcel Map No. 72314, for a project that consists of the demolition of nine of the ten existing structures; the construction and operation of a two-story building totaling approximately 80,000 gross square feet containing a 96-suite assisted living facility (Residential Care for the Elderly) accommodating up to 130 people; and the reuse/rehabilitation of an existing one-story 2,600 square foot building located at the northwestern corner of the site, which may potentially become available for a community use, on property located within the Public Community Facility (P-CF) Zone.

APPLICANT: Fountain Square Development
PROPERTY OWNER: Redondo Beach Unified School District
LOCATION: **320 Knob Hill Avenue**
CASE NO.: 2015-10-PC-016
RECOMMENDATION: Approve with conditions

VIII. OLD BUSINESS

Items continued from previous agendas.

IX. NEW BUSINESS

Items for discussion prior to action.

11. Planning Commission Nominations and Election of Chair, Vice-Chair, and Secretary.

RECOMMENDATION:

- a. That the Chairperson opens nominations for the positions of Chairperson, Vice-Chair and Secretary;
- b. That the Chairperson closes nominations;
- c. That the Chairperson calls for a motion; and
- d. That the new Officers assume seats.

X. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS

This section is intended to provide members of the public with the opportunity to comment on any subject that does not appear on this agenda for action. This section is limited to 30 minutes. Each speaker will be afforded three minutes to address the Commission. Each speaker will be permitted to speak only once. Written requests, if any, will be considered first under this section.

XI. COMMISSION ITEMS AND REFERRALS TO STAFF

Referrals to staff are service requests that will be entered in the City's Customer Service Center for action.

XII. ITEMS FROM STAFF

XIII. COUNCIL ACTION ON PLANNING COMMISSION MATTERS

XIV. ADJOURNMENT

The next meeting of the Planning Commission of the City of Redondo Beach will be a Regular Meeting to be held at 7:00 p.m. on Thursday, November 19, 2015 in the Redondo Beach City Council Chambers, 415 Diamond Street, Redondo Beach, California.

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection at the City Clerk's Counter at City Hall located at 415 Diamond Street, Door C, Redondo Beach, Ca. during normal business hours. In addition, such writings and documents will be posted, time permitting, on the City's website at www.redondo.org.

It is the intention of the City of Redondo Beach to comply with the Americans with Disabilities Act (ADA) in all respects. If, as an attendee or a participant at this meeting you will need special assistance beyond what is normally provided, the City will attempt to accommodate you in every reasonable manner. Please contact the City Clerk's Office at (310) 318-0656 at least forty-eight (48) hours prior to the meeting to inform us of your particular needs and to determine if accommodation is feasible. Please advise us at that time if you will need accommodations to attend or participate in meetings on a regular basis.

An agenda packet is available 24 hours at www.redondo.org under the City Clerk and during City Hall hours, agenda items are also available for review in the Planning Department.

CONSENT CALENDAR

The Planning Commission has placed cases, which have been recommended for approval by the Planning Department staff, and which have no anticipated opposition, on the Consent Calendar section of the agenda. Any member of the Planning Commission may request that any item on the Consent Calendar be removed and heard, subject to a formal public hearing procedure, following the procedures adopted by the Planning Commission.

All cases remaining on the Consent Calendar will be approved by the Planning Commission by adopting the findings and conclusions in the staff report, adopting the Exemption Declaration or certifying the Negative Declaration, if applicable to that case, and granting the permit or entitlement requested, subject to the conditions contained within the staff report.

Cases which have been removed from the Consent Calendar will be heard immediately following approval of the remaining Consent items, in the ascending order of case number.

RULES PERTAINING TO ALL PUBLIC TESTIMONY

(Section 6.1, Article 6, Rules of Conduct)

1. No person shall address the Commission without first securing the permission of the Chairperson; provided, however, that permission shall not be refused except for a good cause.
2. Speakers may be sworn in by the Chairperson.
3. After a motion is passed or a hearing closed, no person shall address the Commission on the matter without first securing permission of the Chairperson.
4. Each person addressing the Commission shall step up to the lectern and clearly state his/her name and city for the record, the subject he/she wishes to discuss, and proceed with his/her remarks.

5. Unless otherwise designated, remarks shall be limited to three (3) minutes on any one agenda item. The time may be extended for a speaker(s) by the majority vote of the Commission.
6. In situations where an unusual number of people wish to speak on an item, the Chairperson may reasonably limit the aggregate time of hearing or discussion, and/or time for each individual speaker, and/or the number of speakers. Such time limits shall allow for full discussion of the item by interested parties or their representative(s). Groups are encouraged to designate a spokesperson who may be granted additional time to speak.
7. No person shall speak twice on the same agenda item unless permission is granted by a majority of the Commission.
8. Speakers are encouraged to present new evidence and points of view not previously considered, and avoid repetition of statements made by previous speakers.
9. All remarks shall be addressed to the Planning Commission as a whole and not to any member thereof. No questions shall be directed to a member of the Planning Commission or the City staff except through, and with the permission of, the Chairperson.
10. Speakers shall confine their remarks to those which are relevant to the subject of the hearing. Attacks against the character or motives of any person shall be out of order. The Chairperson, subject to appeal to the Commission, shall be the judge of relevancy and whether character or motives are being impugned.
11. The public participation portion of the agenda shall be reserved for the public to address the Planning Commission regarding problems, question, or complaints within the jurisdiction of the Planning Commission.
12. Any person making personal, impertinent, or slanderous remarks, or who shall become boisterous while addressing the Commission, shall be forthwith barred from future audience before the Commission, unless permission to continue be granted by the Chairperson.
13. The Chairperson, or majority of the members present, may at any time request that a police officer be present to enforce order and decorum. The Chairperson or such majority may request that the police officer eject from the place of meeting or place under arrest, any person who violates the order and decorum of the meeting.
14. In the event that any meeting is willfully interrupted so as to render the orderly conduct of such meeting unfeasible and order cannot be restored by the removal of individuals willfully interrupting the meeting, the Commission may order the meeting room cleared and continue its session in accordance with the provisions of Government Code subsection 54957.9 and any amendments.

APPEALS OF PLANNING COMMISSION DECISIONS:

All decisions of the Planning Commission may be appealed to the City Council. Appeals must be filed, in writing, with the City Clerk's Office within ten (10) days following the date of action of the Planning Commission. The appeal period commences on the day following the Commission's action and concludes on the tenth calendar day following that date. If the closing date for appeals falls on a weekend or holiday, the closing date shall be the following business day. All appeals must be accompanied by an appeal fee of 25% of original application fee up to a maximum of \$500.00 and must be received by the City Clerk's Office by 5:00 p.m. on the closing date.

Planning Commission decisions on applications which do not automatically require City Council review (e.g. Zoning Map Amendments and General Plan Amendments), become final following conclusion of the appeal period, if a written appeal has not been filed in accordance with the appeal procedure outline above.

No appeal fee shall be required for an appeal of a decision on a Coastal Development Permit application.

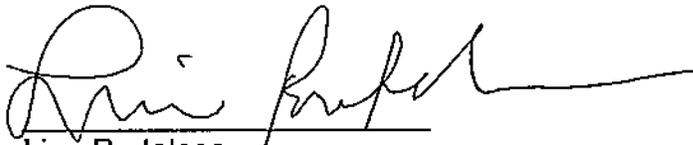
October 9, 2015

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF REDONDO BEACH)

AFFIDAVIT OF POSTING

Pursuant to the requirements of Government Code Section 54955, agendas for a regular commission meeting must be posted at least seventy-two (72) hours in advance and in a location that is freely accessible to members of the public. As Planning Analyst of the City of Redondo Beach, I declare, under penalty of perjury, that in compliance with the requirements of Government Code Section 54955, I caused to have posted on Friday October 9, 2015, the agenda for the October 15, 2015 Regular Meeting of the City of Redondo Beach Planning Commission in the following locations:

City Hall, Door "A", 415 Diamond Street, Redondo Beach
City Clerk's Counter, Door "C", 415 Diamond Street, Redondo Beach



Lina Portolese
Planning Analyst

**MINUTES OF THE
REDONDO BEACH PLANNING COMMISSION MEETING
SEPTEMBER 17, 2015**

CALL TO ORDER

A regular meeting of the Planning Commission was called to order by Chairperson Biro at 7:00 p.m. in the City Hall Council Chambers, 415 Diamond Street.

ROLL CALL

Commissioners Present: Biro, Mitchell, Rodriguez, Sanchez, Ung
Commissioners Absent: Gaian, Goodman
Officials Present: Aaron Jones, Community Development Director
Anita Kroeger, Senior Planner
Stacy Kinsella, Special Projects Planner
Margareet Wood, Recording Secretary

SALUTE TO THE FLAG

Commissioner Mitchell led the members in the salute to the flag.

APPROVAL OF ORDER OF AGENDA

The motion by Commissioner Sanchez and seconded by Commissioner Mitchell to approve the order of agenda was unanimously approved.

CONSENT CALENDAR ITEMS

4. Approval of Affidavit of Posting for the Planning Commission meeting of September 17, 2015
5. Approval of the following minutes: August 20, 2015
6. Receive and file the Strategic Plan Update of August 18, 2015
7. Receive and file written communications

The motion by Commissioner Sanchez and seconded by Commissioner Mitchell to approve the Consent Calendar was unanimously approved.

AUDIENCE OATH

Chairperson Biro asked that those people in the audience who wish to address the Commission on any of the hearing issues stand and take the following oath:

“Do each of you swear or affirm that the testimony you shall give shall be the truth, the whole truth, and nothing but the truth”? Audience members stood and answered, “I do”.

EX PARTE COMMUNICATIONS

None.

EXCLUDED CONSENT CALENDAR

None.

PUBLIC HEARINGS

A Public Hearing to Review, Consider, and Approve an Addendum to the Mitigated Negative Declaration, Initial Study, and Mitigation Monitoring and Reporting Program, and for Consideration of Amendments to the Previously Approved Planning Commission Design Review and Conditional Use Permit to Allow the Construction of a Third Four-Story Hotel with 184 Rooms that is Approximately 136,372 Square Feet in Size to Include 1,163 Square Feet of Meeting Space, an Outdoor Swimming Pool and Sport Court, 185 Parking Spaces, with a Private Park for Hotel Guests Developed on the Existing SCE Utility Right-

of-Way with a Service Road, Walking Path, and Play Field on Property Located Within an Industrial (I-1) Zone

The motion by Commissioner Sanchez and seconded by Commissioner Ung to open the public hearing and receive and file all documents was unanimously approved.

Director Jones said the project is important to economic development in the City. He provided a history of prior approvals for the 2 existing hotels, and said staff is pleased the third site is being developed so soon.

Planner Kroeger recalled the project with 2 hotels and recreational vehicle storage business was approved in 2010. She said the hotels are successfully operating; however the RV storage was not developed, leaving that portion of SCE right-of-way undeveloped. She displayed existing site maps as well as a site plan of the proposed hotel and park. She provided a PowerPoint presentation summarizing the proposed project elements including:

- Attributes of Hotel
- Motor court with surrounding elements
- Elevations showing exterior materials and colors
- Park component
- Signs/fencing
- Approvals required
- Project evaluation
- CUP criteria
- PCDR Criteria
- Environmental analysis

She concluded by recommending that the Planning Commission make the findings in the staff report and resolution, adopt the CEQA document, and approve the amendments to the CUP and PCDR subject to findings and conditions in the staff report.

Applicant Brad Wagstaff appreciated the Commissioners' and staff's time, accepted the imposed conditions, and requested approval for the project.

No audience members came forward to speak in favor of or in opposition to the project.

In response to Commissioner Sanchez, Mr. Wagstaff confirmed the amenities packages for the 2 existing hotels are similar. He clarified the Residence Inn is intended for longer-term stays, where the Hilton Garden guests typically stay 2-3 nights. Furthermore he said the Hilton Garden Inn has a restaurant and is focused on business travelers while the Residence Inn attracts more families. He said Homewood Suites has been chosen for the proposed hotel, an all-suites property with full kitchens and living rooms intended for longer stays. He said no Homewood Suites are located within a 25-mile radius. He also said more long-term stays are being booked at the Hilton Garden Inn property when the Residence Inn is full.

In response to Commissioner Sanchez, Mr. Wagstaff said his company intends to install art work on the exterior and interior spaces of the site and an artist has been engaged.

In response to Commissioner Sanchez, Mr. Wagstaff said the 1/1 parking ratio recommended by Hilton has worked out perfectly. He said the hotels are typically sold out

during the week and parking is available for all. He said a shuttle is available for guests and many arrive via taxi or Uber.

In response to Commissioner Mitchell regarding bicycle accommodations, Mr. Wagstaff said that bicycles will be provided free for guests according to the condition of approval. He said the shuttle service will transport guests within a 3-mile radius. He added that the extended properties offer free shopping, laundry, and dry cleaning services and the proposed sidewalk extension will allow guests to walk to Vons.

In response to Commissioner Rodriguez, Mr. Wagstaff said the shuttle will operate between the hours of 4:30 AM to 12:30 AM and will pick up and drop off guests at LAX.

In response to Commissioner Rodriguez, Mr. Wagstaff said 2 additional valet parking areas can be used at peak demand times.

In response to Commissioner Rodriguez, Director Jones clarified the maximum parking requirement is 1 space per room.

In response to Commissioner Sanchez, Mr. Wagstaff said his company is anxious to begin. He said building permits have been submitted and the target opening date is November 2016.

In response to Commissioner Ung, Director Jones stated that crime has decreased in the area since the site has been activated. He said the site is well patrolled.

In response to Commissioner Ung, Director Jones confirmed the applicant paid the full fair share of the cost to mitigate all intersections with the prior approval and is required to pay an additional fair share for this hotel, according to mitigation measure TR-1.

In response to Commissioner Ung, Director Jones said the reference to correspondence from the City of Lawndale in mitigation measure TR-3 pertains to the prior approval and can be removed.

In response to Commissioner Ung, Mr. Wagstaff said his company has worked in compliance with SCE on the construction of the park in the right-of-way and accommodated all requests.

In response to Commissioner Ung, Mr. Wagstaff advised the application has been submitted as a campus with the grass area square footage requirement consolidated in the park area. Director Jones clarified the 20% grass area requirement is met from an entire site development perspective.

In response to Commissioner Rodriguez, Mr. Wagstaff clarified that SCE prohibited lighting improvements; therefore the park will remain closed at night. He said lighting exists along the property line adjacent to the park and an additional lighting arm is being considered. He said 24-hour security will patrol the park area. He said the existing vacant area is a nuisance and his company is anxious to develop.

In response to Commissioner Rodriguez, Director Jones did not have crime statistics available; however he said the primary issues there are loitering, transients, and homeless, which have improved since the project began.

Chairperson Biro was enthusiastic about the hotel. He noted the 3-mile shuttle radius doesn't connect with Redondo Beach locations i.e. beach, Galleria, harbor, and Riviera Village.

Director Jones pointed out the close proximity of the BCT line which travels to the pier.

Chairperson Biro recommended outreach to the large guest population to encourage Redondo Beach business patronage.

Mr. Wagstaff said the hotel works with the Redondo Beach Chamber and also that advertising for Redondo Beach businesses has been placed in the lobbies.

In response to Chairperson Biro regarding the sidewalk along Marine Avenue, Director Jones said the developer has agreed to complete to the best extent possible the sidewalk from the County flood control road to the existing sidewalk on the Vons side, a total of 200'. He noted that Phase 1 completed the entire frontage with new sidewalk and this will be the final link to allow walking access to Daphne's and In-N-Out.

In response to Chairperson Biro, Mr. Wagstaff said the existing wall in the park will be replaced with a 6' wall to secure the site; therefore the park will not be visible from Marine Avenue. He anticipated many guests will use the jogging path in the park. He also said sports teams frequent the hotels and he anticipated they will use the park for warm-up and practice.

In response to Chairperson Biro who asked about expanding the 3-mile shuttle radius, Mr. Wagstaff said the shuttle currently delivers to the Galleria. He said the service is intended for short trips i.e. grocery shopping; however they will try to accommodate.

In response to Chairperson Biro who asked about the need to reference the prior approval for RV parking, Director Jones stated that complaints about RV parking have ceased since the new ordinance was adopted; and the CUP amendment does not need to address the RV issue. He said the new resolution carries all necessary conditions from the prior project except those completed and serves as the controlling document.

Planner Kroeger added the amendment from the 2010 CUP is for the removal of RV storage and the addition of a hotel. She said the environmental document compares the difference between the prior and modified projects and determined there are no additional or more severe adverse effects. She added that the applicant will be paying additional fair share for mitigation measures on the 3rd hotel.

Director Jones clarified the resolution brings forward mitigations which are the same as for the prior approval and were reviewed by legal counsel.

In response to Chairperson Biro, Director Jones confirmed the charging station was added via administrative approval and is a positive enhancement.

Chairperson Biro suggested placing the charging station closer to Marine Avenue, making the park more visible, and installing landscaping on the strip from the Metro station to the 405. He said this is an opportunity to make the area look really nice.

Mr. Wagstaff said the decision to install a solid wall as shielding was made when the entire area was a field of weeds. He said as the property improves, increasing visibility can be considered. He said the intent is for the park to remain private for guests.

Chairperson Biro stressed the importance of the appearance and he suggested installing landscaping in front of the wall to increase attractiveness.

Director Jones proposed a landscape enhancement condition along the solid wall from the project entry to the west to provide a heavy well-done landscape palate for that section of wall.

Mr. Wagstaff agreed to the condition.

Chairperson Biro also suggested the addition of low-level lighting shining into the shrubs.

In response to Chairperson Biro, Planner Kroeger confirmed the condition for adding sidewalk on Marine Avenue still needs to be added.

In response to Commissioner Rodriguez regarding mitigation measure TDM-6, Director Jones said the required 2 spaces for alternative vehicle parking is shown in the motor court entry space.

In response to Commissioner Rodriguez regarding mitigation measure TDM-5, Mr. Wagstaff said the actual demand for bicycles for the entire campus is 8, which he agreed to provide. He said the surrounding streets are busy and he did not anticipate many guests cycling to the beach.

Commissioner Mitchell suggested installing the public art to be visible from the 405 Freeway with a message which welcomes drivers to Redondo Beach and captures what Redondo Beach is.

Mr. Wagstaff agreed, adding the art in the public spaces is local Redondo Beach art.

Chairperson Biro requested to install furniture in the park consistent with the City-approved design.

Chairperson Biro suggested a potential shuttle stop at the Performing Arts Center and adjacent track area to provide synergy and connection.

In response to Chairperson Biro, Director Jones said the Fire Department has approved the plan and full access to the site and a plan for each building is provided.

The motion by Commissioner Rodriguez and seconded by Commissioner Mitchell to close the public hearing was unanimously approved.

Commissioner Sanchez moved to approve case 2015-09-PC-013 with the 7 findings and 28 conditions adding the conditions for sidewalk improvements and landscaping along the wall.

Director Jones read the additional sidewalk condition: *That the applicant shall fund and construct a sidewalk connection between the east property line under the 405 Freeway to connect with the existing sidewalk, subject to City Engineer and Cal Trans approval.*

He also corrected the following conditions to read:

TDM-4 *Shuttle service...between 4:30 AM and 12:30 A.M.*

TDM-5 *The hotels shall make available a total of 8 bicycles to their hotel guests.*

Commissioner Rodriguez requested to have additional bicycles provided according to customer needs.

Commissioner Sanchez's motion was seconded by Commissioner Mitchell and unanimously approved.

OLD BUSINESS

None.

NEW BUSINESS

None.

PUBLIC PARTICIPATION ON NON-AGENDA ITEMS

None.

COMMISSION ITEMS AND REFERRALS TO STAFF

Commissioner Rodriguez announced an upcoming beach cleanup day and a White Sea Bass release at the AES property.

Commissioner Mitchell supported efforts to encourage Redondo Beach business patronage.

Chairperson Biro requested support for initiating a process to create standards for guidelines and best practices for community outreach to provide future applicants. He said the benefits of outreach and the drawbacks without it are evident.

Director Jones suggested a request to staff to draft a Commission policy encouraging community outreach for the Commission's review. He said including examples would be helpful.

Motion by Chairperson Biro and seconded by Commissioner Sanchez requesting staff to prepare a Commission policy with recommended guidelines for community outreach for future applicants.

Commissioner Sanchez stressed the importance of specifying the guidelines are intended to be recommendations.

Chairperson Biro's motion was unanimously approved.

Director Jones said the guidelines will be discussed at the December meeting.

ITEMS FROM STAFF

Director Jones reported that he and Chairperson Biro discussed application standards, specifically the need for more information on how projects fit within surrounding properties.

He said requirements for photographs of the site and surrounding properties as well as physical drawings of properties and their relationship with surrounding properties were discussed. He said recommendations will be presented at the December meeting.

Chairperson Biro pointed out the application considered tonight described the specific site only; and seeing the relationships on all sides is important. He mentioned information such as adjacent building height and window placement which he said will help to quickly visualize. He also supported reinstatement of site tours.

Director Jones said the October meeting agenda is busy and includes Housing Element amendments, the 320 Knob Hill Avenue project, a new commercial building on Avenue I, and a lot line adjustment.

Commissioner Sanchez anticipated being absent from the October meeting.

Planner Kroeger announced the Legado Project is scheduled for November.

COUNCIL ACTION ON PLANNING COMMISSION MATTERS

Director Jones announced City Council approved the 52-unit mixed use development at 1914 South PCH. He clarified the decision of the Planning Commission was sustained and all mitigation measures were implemented. He said all Planning Commission conditions were carried and 3 were added.

Director Jones also reported the item regarding battery storage facilities was continued for an additional 3 months.

ADJOURNMENT

At 8:34 p.m. Chairperson Biro adjourned the meeting until October 15, 2015.

Respectfully submitted,

Aaron Jones
Community Development Director



Administrative Report

Council Action Date: September 15, 2015

To: MAYOR AND CITY COUNCIL

From: JOE HOEFGEN, CITY MANAGER

Subject: STRATEGIC PLAN UPDATE ON SIX-MONTH OBJECTIVES

RECOMMENDATION

Receive and file the monthly updates to the six-month strategic objectives established at the Strategic Planning Retreat held on April, 2, 2015.

EXECUTIVE SUMMARY

On April 2, 2015, the City Council held a Strategic Planning Workshop to establish six-month objectives. The objectives set were adopted by the City Council at the April 21, 2015 Council Meeting. Monthly updates are provided to the Mayor and Council to enable them to monitor the City's progress. This current update is the fifth of the April 2, 2105 Strategic Planning session's six-month objectives. The next Strategic Planning Retreat will be held on October 14, 2015.

BACKGROUND

The City Council's Strategic Plan directs the development of the City budget, program objectives, and performance measures. The goals provide the basis for improving services, and preserving a high quality of life in the City.

The City began strategic planning in 1998 with the creation of the first three-year strategic plan covering the period of 1998-2001. In October 2001, a second three-year plan was developed for 2001-2004. At the February 25, 2003 retreat, these Core Values were added: Openness and Honesty, Integrity and Ethics, Accountability, Outstanding Customer Service, Teamwork, Excellence, Environmental Responsibility, and Fiscal Responsibility. A third three-year plan was developed in March 2004, covering the period of 2004-2007, and including a vision statement. In September 2007, the fourth three-year plan was developed with new goals and objectives. A fifth three-year plan was developed on March 3, 2010. Finally, the sixth three-year strategic plan was developed on September 12, 2013. The following are the five strategic plan goals for 2013-2016. They are not in priority order:

- Vitalize the waterfront, Artesia Corridor, Riviera Village and North Redondo Beach Industrial complex
- Improve public infrastructure and facilities in an environmentally responsible manner
- Increase organizational effectiveness and efficiency
- Build an economically vital and financially sustainable city
- Maintain a high level of public safety with public engagement

The City Manager provides monthly updates to the adopted six-month objectives to enable the Mayor and City Council to monitor the City's progress on the Strategic Plan.

COORDINATION

All departments participated in the development of the Strategic Plan and in providing the attached update.

FISCAL IMPACT

The total cost for this activity is included in the Mayor and City Council's portion of the FY 2015-2016 Adopted Annual Budget.

Submitted by:

Joe Hoefgen, City Manager

Attachment:

- Strategic Plan Update - Six-Month Objectives dated September 15, 2015

CITY OF REDONDO BEACH  **SIX-MONTH STRATEGIC OBJECTIVES**
April 2, 2015 – October 1, 2015

ACM=Assistant City Mgr CD=Community Development PW=Public Works WED=Waterfront and Economic Development CS=Community Services

THREE-YEAR GOAL: <i>VITALIZE THE WATERFRONT, ARTESIA CORRIDOR, RIVIERA VILLAGE AND NORTH REDONDO INDUSTRIAL COMPLEX</i>						
WHEN	WHO	WHAT	STATUS			COMMENTS
			DONE	ON TARGET	REVISED	
1. At the May 19, 2015 City Council meeting	City Manager, City Attorney, PW Director, Finance Director	Develop and present to the City Council for action consideration of a resolution in support of the formation of a BID for Artesia Boulevard.			X	Staff provided NRBBA with BID calculations on June 9, 2015. Resolution to be prepared upon receipt of request from NRBBA.
2. By September 1, 2015	PW Director	Recommend to the City Council for action the renaming of Torrance Blvd. west of PCH to the water.	X			Public Hearing set for October 6, 2015
3. By September 15, 2015	CD Director and PW Director working with Riviera BID	Present to the City Council for action a site-specific pilot project for an outdoor dining deck in Riviera Village.		X		Project update and status report to be presented on September 15. Implementation to follow.
4. By October 1, 2015	Assistant City Manager and WED Director	Present options for alternative locations for installation of a new boat ramp to the City Council for action.			X	Optional locations for the boat launch are being studied as part of the waterfront project EIR. Public input on the options will be gathered through community outreach meetings following release of the draft EIR.
5. By October 1, 2015	PW Director	Present to the City Council for action the restoration of the name Redondo Beach Blvd. instead of Artesia Blvd. within the City of Redondo Beach.		X		Report to be submitted on the September 15, 2015 Council Meeting.
6. By October 1, 2015	WED Director, working with regional agencies	Report on the status of the analysis of sea level rise and its potential impact on the Redondo Beach waterfront.			X	This is scheduled to be presented to the City Council at the October 20, 2016 meeting

7. Future objective	PW Director (lead), WED Director, and CS Director	Present to the City Council for action the recommended option for the development of Moonstone Park.				
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BRAINSTORMED STRATEGIES TO ADDRESS IN THE NEXT 6 MONTHS:

- Rezoning or reuse of the AES property and surrounding properties east of Harbor Drive (shown as #9 below)
- Report on Manhattan Beach Boulevard landscaping and bike-ability (shown as #8 below)

8. At the June 16, 2015 City Council Meeting	PW Director	Present to the City Council a Budget Response Report on Manhattan Beach Boulevard landscaping and bike-ability.	X			
9. May 2015 to _____	City Council, Task Force, City Staff, Consultants	COMPREHENSIVE REZONING AND LAND USE PLAN AMENDMENTS FOR THE AES SITE AND SURROUNDING PROPERTIES EAST OF HARBOR DRIVE				
a. At the May 5, 2015 City Council Meeting	City Attorney working with the City Manager	Agendize for City Council direction on whether to continue to serve as an Intervenor before the California Energy Commission, the Public Utilities Commission, the Air Quality Management District and other agencies pertinent to AES Southland's efforts to seek approval of a new Power Plant. (The City's Intervenor Activities were temporarily suspended pending the outcome of Measure B which appeared on the March 3, 2015 ballot.).	X			Council approved continued Intervenor activities
b. Prior to May 30, 2015	CD Director working with City Attorney	Present an ordinance to the Planning Commission to consider amending the Zoning Ordinance to clarify and further define "Electricity Generating Facility" and "Electricity Storage Facility" uses and specify that such facilities are not permitted uses in any zone in the City unless the California Energy Commission makes certain specified findings. (The existing moratorium on development of the AES site was enacted on December 3, 2013, extended on January 14, 2014 for 22 months and 15 days and expires on November 28, 2015).			X	Planning Commission held a public hearing on May 14, 2015 to provide recommendations to the City Council. Council introduced Ordinance on June 30 and adopted on July 7. Storage amendments continued to September 15 Recommendation to continue Storage amendments to December 15 will be presented to Council on September 15.
c. At the May 5, 2015 City Council Meeting	City Manager working with the City Attorney and CD Director	Provide a report to the City Council providing a recommended process for a City Council appointed task force and stakeholders to identify a recommended comprehensive rezoning and Land Use Plan amendments for the re-use of the AES property and surrounding properties east of Harbor Drive.	X			City Council received report on May 5, 2015 and deferred land use process decision until September 1, 2015 June 30, 2015

d. At the June 2, 2015 City Council Meeting	City Manager working with City Attorney and CD Director	Present to the City Council for action, a scope of work and an RFP process to retain a facilitator and other consulting services needed to support the work of the Task Force.	X			RFP authorized on July 21 and issued July 22. Proposals due August 6. See separate Discussion Item on August 18th Council Meeting. Response deadline extended. Proposals received from Moore, Rubble, Yudell and SWA. Expect selection and contract consideration on October 20, 2015.
e. At the June 16, 2015 City Council Meeting	City Attorney working with City Manager	City Council to consider allocating funding in the FY 2015-2016 operating budget for continued Intervenor status.	X			
f. At the June 16, 2015 City Council Meeting	City Manager working with City Attorney	City Council to consider allocating funding in the FY 2015-2016 operating budget for facilitator/consulting services needed to support the work of the Task Force.	X			Initially deferred until September 1, 2015 - was considered on June 16, 2015. Funding of \$157,500 was approved as part of FY 2015-16 Budget for Phase I
g. At the August 4 th City Council Meeting	City Manager with City Attorney and CD Director	City Council to select consulting services firms needed to support the Task Force following the RFP Process.			X	Initially deferred until September 1, 2015. Discussion Item presented on August 18th. Response deadline extended. Proposals received from Moore, Rubble Yudell and SWA. Expect selection and contract consideration on October 20, 2015.
h. Future date _____	Task Force, working with Consultants	Task Force/Consultants present findings and recommendations to the City Council.				

THREE-YEAR GOAL: *IMPROVE PUBLIC INFRASTRUCTURE AND FACILITIES IN AN ENVIRONMENTALLY RESPONSIBLE MANNER*

WHEN	WHO	WHAT	STATUS			COMMENTS
			DONE	ON TARGET	REVISED	
1. At the June 2, 2015 Council Meeting	PW Director	Report the status of Bike Path improvements and connectivity.	X			Budget Response Report was presented on June 16, 2015

BRAINSTORMED STRATEGIES TO ADDRESS IN THE NEXT 6 MONTHS:

- Options to the City Council for a new or upgraded police station (shown as #2 below)
- Alternative financing options for the pier parking structure and other harbor public infrastructure (shown as #3 below)

2. By October 1, 2015	ACM working with Police Chief and PW Director	Present to the City Council a Report on the process for renovating or building a new Police Station.			X	Report to be submitted to CC on October 6, 2015.
3. At the May 19, 2015 City Council Meeting	WED Director working with PW Director	Present to the City Council for review, options for financing the construction of a replacement Pier Parking Structure and other Harbor area public infrastructure.	X			Completed on July 21, 2015

THREE-YEAR GOAL: <i>INCREASE ORGANIZATIONAL EFFECTIVENESS AND EFFICIENCY</i>						
WHEN	WHO	WHAT	STATUS			COMMENTS
			DONE	ON TARGET	REVISED	
1. At the April 21, 2015 City Council meeting	CS Director (lead), City Attorney, City Manager and IT Director	Recommend to the City Council for action a pilot program for the use of social media.	X			
2. By July 15, 2015	IT Director, working with the City Clerk	Present to the City Council for action a plan to update the city's website.	X			Budget Response Report completed June 16, 2015. Staff Committee formed and meetings are on-going.
3. At the July 21, 2015 City Council meeting	City Attorney, working with the CD Director	Present to the City Council for direction options for the restructuring of the Redondo Beach Sister City Committee as a separate non-profit 501(c)(3) and/or an official city committee or commission.			X	Delayed due to workload
4. By August 1, 2015	City Treasurer, working with the City Attorney and City Manager	Present a status report on the Transient Occupancy Tax (TOT) to the City Council for direction.		X		
FUTURE: By December 31, 2015	City Manager	Appoint permanent department head positions: Public Works, Waterfront and Economic Development, Police Chief, Community Services, and Human Resources Director.		X		HR and WED Director appointed June 1, 2015. Police Chief recruitment opened July 27, 2015. Public Works Department recruitment opened August 17, 2015. CS Director recruitment opened September 8, 2015.
FUTURE: By Sept. 1, 2016	Finance Director, working with the IT Director	Recommend to the City Council for action update to the business license process, including printing of a certificate.		X		

BRAINSTORMED STRATEGIES TO ADDRESS IN THE NEXT 6 MONTHS:

- Report to the City Council how the City complies with and enforces the Historic Preservation Act (shown as #5 below)
- Need for an internal audit process on revenue and expenditure side (shown as #6 below)
- Expand opportunities for public outreach (shown as #7 below)

5. At the June 16, 2015 City Council meeting	CD Director	Provide a Budget Response Report describing how the City complies with and enforces the Historic Preservation Act.	X			BRR completed on June 2, 2015
6. At the June 2, 2015 City Council meeting	City Treasurer working with the City Manager and Finance Director	Present to the City Council for action an internal audit process for enhanced review of City revenues and expenditures.	X			RFP authorized for release on July 7, 2015
7. At the August 18, 2015 City Council Meeting	City Manager	Present to the City Council an informational report on possible methods for expanded public outreach.			X	Deferred to September 15, 2015

THREE-YEAR GOAL: *BUILD AN ECONOMICALLY VITAL AND FINANCIALLY SUSTAINABLE CITY*

WHEN	WHO	WHAT	STATUS			COMMENTS
			DONE	ON TARGET	REVISED	
1. At the May 5, 2015 City Council meeting	Finance Director	Present to the City Council for direction a proposal to update the City's purchasing ordinance.	X			
2. At the June 16, 2015 City Council meeting	CD Director	Report to the City Council a Budget Response Report on what has been done to ease parking restrictions for businesses citywide.	X			

BRAINSTORMED STRATEGIES TO ADDRESS IN THE NEXT 6 MONTHS:

- Improve the passport process (e.g., take passport photos) as a revenue source (shown as #3 below)

3. At the June 2, 2015 City Council Meeting	City Clerk	Provide a Budget Response Report describing 1) the existing Passport Program, and 2) options for program improvement for enhanced revenue (e.g. take passport photos).	X			Budget Response Report was presented on June 16, 2015
4. At the May 5, 2015 City Council Meeting	CS Director working with City Attorney	Present to the City Council for direction a report on whether and how to negotiate with Car2Go for continuing service in Redondo Beach beyond June 6, 2015.	X			Car2Go decided to suspend their service to Redondo Beach residents until further notice on Sunday, May 31, 2015

THREE-YEAR GOAL: <i>MAINTAIN A HIGH LEVEL OF PUBLIC SAFETY WITH PUBLIC ENGAGEMENT</i>						
WHEN	WHO	WHAT	STATUS			COMMENTS
			DONE	ON TARGET	REVISED	
1. At the April 7, 2015 City Council meeting	City Attorney, working with the CD Director, Police Chief and City Manager	Present to the City Council options for an ordinance banning mobile vendors from within 500 to 1000 feet from schools.	X			Ordinance presented at the June 2, 2015 council Meeting
2. At the April 7, 2015 City Council meeting	City Attorney, working with the CD Director, Police Chief and City Manager	Review current regulations and the feasibility of regulating amplified sound from mobile vendors.	X			
3. At the May 19, 2015 City Council meeting	Police Chief and City Attorney	Present to the City Council for action an ordinance to regulate parking in municipal public parking lots.	X			Ordinance was presented for second reading at the June 16, 2015 council meeting. Police Department to bring forward a Resolution with specific parking restrictions.
4. By July 1, 2015	Police Chief, working with the ACM	Provide training and fully implement the jail surveillance video camera system.	X			
5. At the August 4, 2015 City Council Meeting	Fire Chief, working with the PW Director, IT Director and Library	Report on the status of implementing an EOC on the Main Library Meeting Room.	X			Report presented at the meeting of August 18, 2015
6. By September 1, 2015	PW Director and Police Chief	Develop plans and specifications for security fencing around the police station.			X	Date revised to October 20, 2015.
7. By August 1, 2015	Police Chief, working with the HR Director	Report on the number of sworn police personnel in place to achieve the budgeted 93 positions.	X			A Budget Response Report that provides a sworn staffing update was presented to City Council on June 2, 2015.
8. By October 1, 2015	Police Chief, working with the PW Director and CS Director	Research and present to the City Council for direction options for construction of a canine training facility on an existing unused city parcel.			X	On hold pending decisions by Northrop Grumman on construction plans at their facility that may impact the Police Department's use of an identified City parcel.

BRAINSTORMED STRATEGIES TO ADDRESS IN THE NEXT 6 MONTHS:

No suggestions

9. At the May 5, 2015 City Council Meeting	City Attorney working with the City Manager and Police Chief	Provide a report on a potential change to the Municipal Code to allow for extended hours of parking meter enforcement.			X	Work not completed as City Council designate did not provide follow up information
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RVA Meeting 8:30 am

Tuesday, September 15, 2015

McGaughey and Spirito

Members in attendance- Chris Hatanelas, Mike Ward, Terry McGaughey, Lori Richard, Kristen Hoffman, Bobby Nayedadash, Lorry Ray, Brian Diederich and Ellen Engelke,

I. **CALL TO ORDER-** 8:35 am Chris Hatanelas

II. ROLL CALL & INTRODUCTIONS

Non Board Member Reporting

1. City Report

- a. **Street repaving begins today and will last through next week depending on weather**
- b. **Due to El Nino the city is concerned about trees in the Village falling and causing injury/damage. Requests business owners or concerned citizens to call City if a potential problem tree is identified.**
- c. **A pilot project for dining decks in front of Zazou/RB Brewing Company and Hennessey's/Mickey Finnz is being proposed. The businesses are paying for the decks and no parking spaces will be lost due to smaller restriping.**

2. Legado Development

- a. **Asked for RVA approval of their updated project—no opinion was given by Board until more concrete plans were seen on the changes**

3. Marketing and Events Coordinator—Ellen Engelke

- a. **September report attached**
- b. **Obtaining a bid for Halloween flyers and posters from the person who supplied the Sidewalk Sale flyers.**
- c. **Next Mixer—September 17- Spread the word!**

Administrative Reports

- 1. President's Report—Chris Hatanelas**
 - a. MOTION to approve August Minutes, Mike Ward, Terry 2nd; MOTION APPROVED.**

- 2. Treasurer's Report—Current Financials—Mike Ward**
 - a. MOTION to approve minutes, Terry McGaughney, Bobby Nayedadash 2nd; MOTION APPROVED**

- 3. Farmer's Market**
 - a. There is a Special Events Commission on September 24, 2015 at 8:30am where we can discuss moving the farmer's Market to another location. All Board members are encouraged to attend.**

Committee Reports

- 1. Website/Social Media**
 - a. Bobby Christian was not in attendance. Lori discussed his desire to set up a Drop Box account for businesses to send website/FB changes to avoid the chaos of constant email.**

- 2. Marketing**
 - a. MOTION: Marketing committee will meet prior to next Board meeting to finalize 2016 calendar. Lori Richard, Bobby Nayedadash 2nd; Motion approved**
 - b. MOTION: Not more than \$4,500 will be allocated for Halloween Event; Mike Ward, Terry 2nd; Motion approved**
 - c. MOTION: Not more than \$30,000 will be allocated for the Holiday Stroll; Mike Ward, Terry 2nd; Motion approved**
 - d. MOTION: Set up a sub-committee for allocation of the \$20,000 from the city of signage/directory; Mike Ward, Chris Hatanelas 2nd; Motion approved**

Other Business

- 1. MOTION: The RVA BID is to be dissolved after we receive confirmation from the City Attorney acknowledging its lack of necessity; Terry, Mike 2nd; Motion Approved**
- 2. MOTION: RVA to pay \$5,000 annually, or \$416.67 monthly, for liability insurance for RVA BID; Terry, Chris 2nd; Motion Approved**
- 3. MOTION: Require The City to enforce parking limits of four hours on Catalina Avenue meters only; Terry, Bobby 2nd; Motion Approved**
- 4. MOTION: Request the City Council to allocate 2 people twice per week for weed abatement and general maintenance; Terry, Mike 2nd; Motion Approved**

Next meeting will be October 20th, 2015 at 8:30am. Location: McGaughey and Spirito

Motion: Adjournment at 10:13; Terry, Chris 2nd.



Administrative Report

Planning Commission Hearing Date:

October 15, 2015

AGENDA ITEM: 8 (PUBLIC HEARING)

PROJECT LOCATION: 221 AVENUE I

APPLICATION TYPE: EXEMPTION DECLARATION, COASTAL DEVELOPMENT PERMIT AND PLANNING COMMISSION DESIGN REVIEW TO ALLOW TANDEM/VALET PARKING

CASE NUMBER: 2015-10-PC-014

COASTAL DEVELOPMENT CASE NUMBER: 2015-10-CDP-010

APPLICANT'S NAME: BUENA VISTA REAL ESTATE HOLDINGS LLC

APPLICANT'S REQUEST AS ADVERTISED:

Consideration of an Exemption Declaration, Coastal Development Permit and Planning Commission Design Review to allow Tandem/Valet Parking for a new commercial building to be constructed on property located within a Mixed-Use (MU-3C) zone of the Coastal Zone.

DEPARTMENT'S RECOMMENDATION:

The Planning Department recommends that the Planning Commission make the findings as set forth in the staff report, approve the Exemption Declaration, and grant the Coastal Development Permit and Planning Commission Design Review subject to the plans and applications submitted, and the recommended conditions.

EXISTING CONDITIONS/BACKGROUND:

The subject property is an irregular-shaped, interior lot with 42 feet of frontage on Avenue I, with an average depth of approximately 198 feet for a total lot area of approximately 8,316 square feet. There is a 15 foot wide alley to the rear of this property. In 2009, the Planning Commission approved a Conditional Use Permit for the site to be developed with a 1,030 square foot building to be used as a Garden Center which was an ancillary use for the neighboring furniture store to the west. The adjacent property to the east is developed with a three-story office building with subterranean parking. The remainder of the block is developed with a wide variety of commercial uses, small retail shops, restaurants, snack shops, and some apartments that are located on the second and third floors of a mixed-use project just west of the furniture store.

DETAILED DESCRIPTION OF REQUEST:

The proposed project consists of the construction of a three-story commercial building with a subterranean parking level. On the ground floor there will be a 2,000 square foot restaurant and on the second and third floors 4,600 square feet of office space and a private lap pool. The total proposed square footage will be 6,600 square feet of commercial space with 6,813 square feet for a subterranean parking level. Parking shall be off of the alley and will provide 15 valet/tandem parking spaces with a vehicle turntable at the end of the parking level that shall only be accessible by the on-site parking attendant.

Since the approval for a new commercial building is contingent upon the approval of the valet/tandem parking lay-out and the requirement of a parking attendant to be on-site during all hours of operation, two conditions have been added specifically regarding the operations of the parking area. Condition #2 has been added stating that the restaurant shall close at midnight (since no specific hour was stated for when the restaurant would close) and Condition #3, has been added stating that the valet parking attendant shall be present during all hours of operation for the office space and the hours of operation for the restaurant. The proposed hours for the two businesses are staggered. The office hours shall be 7:00 a.m. to 4:00 p.m. and the amended hours for the restaurant shall be 5:00 p.m. to 12:00 midnight.

The buildings' design is a Contemporary style of architecture. The project design includes smooth stucco, glass, stone veneer, wood and aluminum. The building incorporates several straight lines giving a clean contemporary look while using natural building materials to give the building a warmer appearance.

EVALUATION OF REQUEST:

Pursuant to Section 10-5.2502 of the Municipal Code, the proposed project requires Planning Commission Design Review due to the request for valet/tandem parking arrangement. The purpose of the review is to examine the compatibility and innovation of the site to allow the construction of a commercial building utilizing a full-time valet/tandem parking arrangement.

The applicant requests Planning Commission approval for the use of valet/tandem parking arrangement. This parking arrangement will include a full time parking attendant on-site at all times to park all of the vehicles and the use of a vehicle turntable at the base of the parking garage area to turn the cars around for when the cars exit the parking garage area.

The proposed design shows 15 subterranean parking spaces which consist of one accessible parking space for a van, one compact parking space and 13 tandem parking spaces that will only be accessible by the valet attendant. The proposed two uses on-site will consist of a 2,000 square feet sit-down restaurant with 30 indoor seats and 12 outdoor dining seats and 4,600 square feet of offices on the second and third floors.

Pursuant to Section 10-5.1706, the parking requirement for 2,000 square feet of restaurant space in the pedestrian-oriented mixed-use zone is based on retail parking of 1 parking space for every 250 square feet which equates to 8 required parking spaces. The 4,600 square feet of office space requires 1 parking spot for every 300 square feet which equates to 15 parking spaces. Based on current parking requirements, 23 parking spaces would be required to serve the restaurant and office spaces if they were to be concurrently operated. However, the applicant (also property owner and business owner) is willing to permanently restrict operations of the businesses to only allow non-overlapping hours of operations for the restaurant and office spaces.

The site is limited in size as it is only 42 feet in width which prevents side loaded parking. The only way this site can be redeveloped is with the approval of valet/tandem parking with a full time parking attendant during business hours and a vehicle turntable at the base of the parking garage to allow vehicles to turn around and exit the garage.

All of the vehicles with the exception of the van accessible vehicle shall be driven by the valet parking attendant. The proposed parking plan will be that the patrons of the office or restaurant will drive their cars down the alley to the garage entrance where they will be met by the full-time parking attendant. The patrons will unload from their car and will walk down the side walkway to the staircase if they are visiting the office spaces or the restaurant on Avenue I. Patrons can also access the elevator which is located at the front of the building through the main entry area. The applicant/property owner plans to occupy the 3rd floor office space. The property owner proposes a lap pool on the 3rd floor, the lap pool shall only be used by the property owner or patrons of the office space. Condition #4 has been added to reflect the limited usage of the lap pool.

The property owner has worked extensively with the Architect regarding the proposed design and operation of the offices and restaurant space so the businesses will not interfere with each other.

The commercial loading hours for the two businesses shall be off the alleyway and the hours shall be limited to 7:00 a.m. to 9:00 p.m. Monday through Friday and 9:00 a.m. to 9:00 p.m. Saturday and Sunday.

Pursuant to Section 10-5.2218, the City of Redondo Beach has the authority to approve a Coastal Development Permit based upon compliance with the provisions of the certified Redondo Beach Local Coastal Program and consistency with the policies of the Coastal Act. The proposed new commercial development is consistent with the requirements for the granting of the required permit.

Since the current building is unoccupied and the site has been vacant for some time, any development on this site is a significant improvement. Given the constraints of the site and the proposed parking lay-out with the valet/tandem parking attendant and the vehicle turntable, the Planning Division recommends approval of the project.

ENVIRONMENTAL STATUS:

The proposed project is Categorically Exempt from the preparation of environmental documents pursuant to Section 15332 of the Guidelines to Implementation of the California Environmental Quality Act (CEQA).

FINDINGS:

1. In accordance with Section 10-5.2502 of the Redondo Beach, Municipal Code, the request for Planning Commission Design Review is in accord with the criteria set forth therein for the following reasons:
 - a) The proposed commercial building with valet/tandem parking arrangement will not have an impact on the circulation, parking or traffic on the subject property or the adjacent streets because the proposed development will have a full-time parking attendant on-site at all times during the hours of operation. The proposed commercial development will not have an impact on utilities, public services, noise, odor, open spaces, trash collection, energy consumption or other design concerns, as it is an existing mixed-use zoned property.
 - b) The location of the proposed commercial development does not further reduce or impact any of the remaining natural terrain on the subject property.
 - c) The design of the building is aesthetically pleasing. Furthermore, the design is consistent and compatible with the surrounding properties.
 - d) The design of the building is compatible with the neighborhood in that there are other commercial buildings with similar architectural styles.
2. In accordance with Section 10-5.2218 of the Redondo Beach Municipal Code, the applicant's request for a Coastal Development Permit is consistent with the findings set forth therein for the following reasons:

- a) The proposed development is in conformity with the Certified Local Coastal Program because it is consistent with the Mixed-Use (MU-3C) zone and associated development standards.
 - b) That the proposed development is not located between the sea (or the shoreline of any body of water located within the coastal zone) and the first public road paralleling the sea, and is in conformity with the public access and public recreation policies of Chapter 3 of Division 20 of the Public Resources Code (commencing with Section 30200).
 - c) That the decision-making body has complied with any CEQA responsibilities it may have in connection with the project, and that, in approving the proposed development, the decision-making body is not violating any CEQA prohibition that may exist on approval of projects for which there is a less environmentally damaging alternative or a feasible mitigation measure available.
3. The plans, specifications and drawings submitted with the applications have been reviewed by the Planning Commission, and approved.
 4. Pursuant to Chapter 3, Title 10 of the Redondo Beach Municipal Code, the project is exempt from the preparation of environmental documents pursuant to Section 15332 of the Guidelines for Implementation of the California Environmental Quality Act (CEQA).
 5. The Planning Commission hereby finds that the proposed project will have no impact on fish and game resources pursuant to Section 21089(b) of the Public Resources Code.

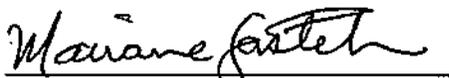
CONDITIONS:

1. That the approval granted is for the construction of a new commercial building with subterranean valet/tandem parking for the site with a full time valet attendant during the hours of operation of 7:00 a.m. to 12:00 midnight or when the restaurant closes as reflected on the application and on the plans reviewed and approved by the Planning Commission at the meeting on October 15, 2015.
2. That the hours of operation for the restaurant shall be from 5:00 p.m. until 12:00 midnight.
3. That a full-time parking attendant shall be available on-site at all times during the hours of operation for the offices and the hours of operation for the restaurant.
4. That use of the lap pool shall be by the property owner or patrons of the office spaces and shall adhere to the stated office hours.

5. The precise architectural treatment of the building exterior, roof, walks, walls, and driveways shall be subject to Planning Division approval prior to issuance of a building permit.
6. The applicant shall provide on-site erosion protection for the storm drainage system during construction, to the satisfaction of the Engineering Department.
7. The applicants and/or their successors shall maintain the subject property in a clean, safe, and attractive state until construction commences. Failure to maintain the subject property may result in reconsideration of this approval by the Planning Commission.
8. That the Planning Department shall be authorized to approve minor changes.
9. The site shall be fully fenced prior to the start of construction.
10. All on-site litter and debris shall be collected daily.
11. Construction work shall occur only between the hours of 7 a.m. and 6 p.m. on Monday through Friday, between 9 a.m. and 5 p.m. on Saturday, with no work occurring on Sunday and holidays.
12. Material storage on public streets shall not exceed 48-hours per load.
13. The project developer and/or general contractor shall be responsible for counseling and supervising all subcontractors and workers to ensure that neighbors are not subjected to excessive noise, disorderly behavior, or abusive language.
14. Barriers shall be erected to protect the public where streets and/or sidewalks are damaged or removed.
15. Streets and sidewalks adjacent to job sites shall be clean and free of debris.
16. Color and material samples shall be submitted for review and approval of the Planning Department prior to the issuance of Building Permits.
17. The applicant shall work with Planning Department and Public Works staff on the final design of the landscape plan.
18. The applicant shall develop a sign program for approval by the Planning Department prior to issuance of building permits.
19. Loading hours for the commercial businesses shall be limited to the hours of 7:00 a.m. to 9:00 p.m. Monday to Friday and 9:00 a.m. to 9:00 p.m. Saturday and Sunday.

20. The applicant shall submit a final exterior lighting plan to be approved by the Planning Department prior to final inspection.
21. That, in the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit. The decision of the Planning Commission shall be final.
22. That the Planning Commission shall retain jurisdiction of the matter for the purpose of enforcing compliance with these conditions and for the purpose of modification thereof as circumstances may subsequently indicate.
23. That a final landscape and irrigation plan for the property shall be reviewed and approved by the Planning Department prior to issuance of building permits.
24. That the applicant shall submit fire sprinkler protection plans for review and approval by the Fire Department prior to the issuance of building permits.

Prepared by:


Marianne Gastelum
Assistant Planner

Approved by:


Aaron Jones
Community Development Director



CITY OF REDONDO BEACH

EXEMPTION DECLARATION PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

DATE: October 15, 2015

PROJECT ADDRESS: 221 Avenue I

PROPOSED PROJECT: Construction of a 6,600 square feet commercial building with 6,813 square feet subterranean parking on property located within a Mixed-Use (MU-3C) zone of the Coastal Zone.

In accordance with Chapter 3, Title 10, Section 10-3.301(a) of the Redondo Beach Municipal Code, the above-referenced project is Categorically Exempt from the preparation of environmental review documents pursuant to:

Section 15332 of the Guidelines for Implementation of the California Environmental Quality Act (CEQA) states, in part, that projects characterized as in-fill development do not require further environmental study. This finding is supported by the fact that the proposed project consists of the construction of a new commercial building that meets all the applicable zoning regulations, occurs within city limits on a site no more than five acres in size, is on a site with no value as habitat for endangered, rare or threatened species, does not result in significant effects on traffic, noise, air quality or water quality, and is adequately served by all required utilities and public services.

Marianne Gastelum
Assistant Planner

RESOLUTION NO. 2015-10-PCR-014

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH APPROVING AN EXEMPTION DECLARATION AND PLANNING COMMISSION DESIGN REVIEW TO ALLOW TANDEM/VALET PARKING AND COASTAL DEVELOPMENT PERMIT TO ALLOW THE CONSTRUCTION OF A NEW COMMERCIAL BUILDING TO BE CONSTRUCTED ON PROPERTY LOCATED WITHIN A MIXED-USE (MU-3C) ZONE WITHIN THE COASTAL ZONE AT 221 AVENUE I (CASE NO. 2015-10-PC-014)

WHEREAS, an application was filed on behalf of the owner of the property located at 221 Avenue I for approval of an Exemption Declaration, Coastal Development Permit and Planning Commission Design Review to allow Tandem/Valet Parking for a new commercial building to be constructed on property located within a Mixed-Use (MU-3C) zone of the Coastal Zone; and

WHEREAS, notice of the time and place of the public hearing where the Exemption Declaration and application would be considered was given pursuant to State law and local ordinances by publication in the Easy Reader, by posting the subject property, and by mailing notices to property owners within 300 feet and occupants within 100 feet of the exterior boundaries of the subject property; and

WHEREAS, the Planning Commission of the City of Redondo Beach has considered evidence presented by the applicant, the Planning Division, and other interested parties at the public hearing held on the 15th day of October, 2015, with respect thereto.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH DOES HEREBY FIND:

1. In accordance with Section 10-5.2502 of the Redondo Beach, Municipal Code, the request for Planning Commission Design Review is in accord with the criteria set forth therein for the following reasons:
 - a) The proposed commercial building with valet/tandem parking arrangement will not have an impact on the circulation, parking or traffic on the subject property or the adjacent streets because the proposed development will have a full-time parking attendant on-site at all times during the hours of operation. The proposed commercial development will not have an impact on utilities, public services, noise, odor, open spaces, trash collection, energy consumption or other design concerns, as it is an existing mixed-use zoned property.

- b) The location of the proposed commercial development does not further reduce or impact any of the remaining natural terrain on the subject property.
 - c) The design of the building is aesthetically pleasing. Furthermore, the design is consistent and compatible with the surrounding properties.
 - d) The design of the building is compatible with the neighborhood in that there are other commercial buildings with similar architectural styles.
2. In accordance with Section 10-5.2218 of the Redondo Beach Municipal Code, the applicant's request for a Coastal Development Permit is consistent with the findings set forth therein for the following reasons:
- a) The proposed development is in conformity with the Certified Local Coastal Program because it is consistent with the Mixed-Use (MU-3C) zone and associated development standards.
 - b) That the proposed development is not located between the sea (or the shoreline of any body of water located within the coastal zone) and the first public road paralleling the sea, and is in conformity with the public access and public recreation policies of Chapter 3 of Division 20 of the Public Resources Code (commencing with Section 30200).
 - c) That the decision-making body has complied with any CEQA responsibilities it may have in connection with the project, and that, in approving the proposed development, the decision-making body is not violating any CEQA prohibition that may exist on approval of projects for which there is a less environmentally damaging alternative or a feasible mitigation measure available.
3. The plans, specifications and drawings submitted with the applications have been reviewed by the Planning Commission, and approved.
4. Pursuant to Chapter 3, Title 10 of the Redondo Beach Municipal Code, the project is exempt from the preparation of environmental documents pursuant to Section 15332 of the Guidelines for Implementation of the California Environmental Quality Act (CEQA).
5. The Planning Commission hereby finds that the proposed project will have no impact on fish and game resources pursuant to Section 21089(b) of the Public Resources Code.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. That based on the above findings, the Planning Commission does hereby approve the Exemption Declaration and grant the Planning Commission Design Review and Coastal Development Permit pursuant to the plans and application considered by the Planning Commission at its meeting of the 15th day of October, 2015.

Section 2. This permit shall be void in the event that the applicant does not comply with the following conditions:

1. That the approval granted is for the construction of a new commercial building with subterranean valet/tandem parking for the site with a full time valet attendant during the hours of operation of 7:00 a.m. to 12:00 midnight or when the restaurant closes as reflected on the application and on the plans reviewed and approved by the Planning Commission at the meeting on October 15, 2015.
2. That the hours of operation for the restaurant shall be from 5:00 p.m. until 12:00 midnight.
3. That a full-time parking attendant shall be available on-site at all times during the hours of operation for the offices and the hours of operation for the restaurant.
4. That use of the lap pool shall be by the property owner or patrons of the office spaces and shall adhere to the stated office hours.
5. The precise architectural treatment of the building exterior, roof, walks, walls, and driveways shall be subject to Planning Division approval prior to issuance of a building permit.
6. The applicant shall provide on-site erosion protection for the storm drainage system during construction, to the satisfaction of the Engineering Department.
7. The applicants and/or their successors shall maintain the subject property in a clean, safe, and attractive state until construction commences. Failure to maintain the subject property may result in reconsideration of this approval by the Planning Commission.
8. That the Planning Department shall be authorized to approve minor changes.
9. The site shall be fully fenced prior to the start of construction.
10. All on-site litter and debris shall be collected daily.

11. Construction work shall occur only between the hours of 7 a.m. and 6 p.m. on Monday through Friday, between 9 a.m. and 5 p.m. on Saturday, with no work occurring on Sunday and holidays.
12. Material storage on public streets shall not exceed 48-hours per load.
13. The project developer and/or general contractor shall be responsible for counseling and supervising all subcontractors and workers to ensure that neighbors are not subjected to excessive noise, disorderly behavior, or abusive language.
14. Barriers shall be erected to protect the public where streets and/or sidewalks are damaged or removed.
15. Streets and sidewalks adjacent to job sites shall be clean and free of debris.
16. Color and material samples shall be submitted for review and approval of the Planning Department prior to the issuance of Building Permits.
17. The applicant shall work with Planning Department and Public Works staff on the final design of the landscape plan.
18. The applicant shall develop a sign program for approval by the Planning Department prior to issuance of building permits.
19. Loading hours for the commercial businesses shall be limited to the hours of 7:00 a.m. to 9:00 p.m. Monday to Friday and 9:00 a.m. to 9:00 p.m. Saturday and Sunday.
20. The applicant shall submit a final exterior lighting plan to be approved by the Planning Department prior to final inspection.
21. That, in the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit. The decision of the Planning Commission shall be final.
22. That the Planning Commission shall retain jurisdiction of the matter for the purpose of enforcing compliance with these conditions and for the purpose of modification thereof as circumstances may subsequently indicate.
23. That a final landscape and irrigation plan for the property shall be reviewed and approved by the Planning Department prior to issuance of building permits.
24. That the applicant shall submit fire sprinkler protection plans for review and approval by the Fire Department prior to the issuance of building permits.

Section 3. That the approved Planning Commission Design Review and Coastal Development Permit shall become null and void if not vested within 36 months after the Planning Commission's approval.

Section 4. That, prior to seeking judicial review of this resolution, the applicant is required to appeal to the City Council. The applicant has ten days from the date of adoption of this resolution in which to file the appeal.

FINALLY RESOLVED, that the Planning Commission forward a copy of this resolution to the City Council so the Council will be informed of the action of the Planning Commission.

PASSED, APPROVED AND ADOPTED this 15th day of October, 2015.

Nicholas Biro, Chair
Planning Commission
City of Redondo Beach

ATTEST:

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS
CITY OF REDONDO BEACH)

I, Aaron Jones, Community Development Director of the City of Redondo Beach, California, do hereby certify that the foregoing Resolution No. 2015-10-PCR-014 was duly passed, approved and adopted by the Planning Commission of the City of Redondo Beach, California, at a regular meeting of said Planning Commission held on the 15th day of October, 2015, by the following vote:

AYES:

NOES:

ABSENT:

Aaron Jones
Community Development Director

APPROVED AS TO FORM:

City Attorney's Office

**CITY OF REDONDO BEACH
PLANNING DIVISION**

RECEIVED BY: MG
DATE RECEIVED: 9/14/15

APPLICATION FOR PLANNING COMMISSION DESIGN REVIEW

Application is hereby made to the Planning Commission/Harbor Commission of the City of Redondo Beach, for Planning Commission Review, pursuant to Section 10-2.2502, of Chapter 2, Title 10 of the Redondo Beach Municipal Code.

PART I - GENERAL INFORMATION

A	APPLICANT INFORMATION	
	STREET ADDRESS OF PROPERTY: 221 Avenue I Redondo Beach, CA 90277	
	EXACT LEGAL DESCRIPTION OF THE PROPERTY: LOT: 16 BLOCK: 17 TRACT: 2546	ZONING: MU-3C
	FLOOR AREA RATIO (EQUAL TO GROSS FLOOR AREA DIVIDED BY SITE SIZE) SITE SIZE (SQ. FT.): 8297 GROSS FLOOR AREA (SQ. FT.) 6600 FLOOR AREA RATIO: 0.80	
	RECORDED OWNER'S NAME: Buena Vista Real Estate Holdings LLC MAILING ADDRESS: 5 Buggy Whip Dr. Rolling Hills, CA 90274 TELEPHONE: 310-890-0654	AUTHORIZED AGENT'S NAME: Ryan Fischvogt MAILING ADDRESS: 2617 N. Sepulveda Blvd. #100 Manhattan Beach, CA 90266 TELEPHONE: 310-318-8089
	APPLICANT'S NAME: MAILING ADDRESS: TELEPHONE:	PROJECT ARCHITECT: Tomaro Design Group MAILING ADDRESS: 2617 N. Sepulveda Blvd. #100 Manhattan Beach, CA 90266 TELEPHONE: 310-318-8089 LICENSE NO. C22941
B	REQUEST	
	<p>The applicant requests a Planning Commission Design Review to use the above described property for the following purposes: Demolition of existing 1-story, 1,030 sq. ft. retail building. New construction of 3-story, 6,600 sq. ft. mixed-use commercial building with 1 level of subterranean parking at 6,813 sq. ft. 1st floor of building to have 2,000 sq. ft. of restaurant space plus a 148 sq. ft. patio. 2nd and 3rd floors to have 4,600 sq. ft. of office space. 3rd floor deck will have a 195 sq. ft. lap pool. Overlap Parking: In order to satisfy parking requirements for both occupancies, we propose an overlap parking system. Please see sheet A.0.0 for parking requirements for all occupancies. The offices will have business hours from 7:00 am to 4:00 pm and the restaurant will operate from 5:00 pm to close. This allows for 1 hour of overlap between the office employees leaving and the restaurant employees arriving. Parking for restaurant patrons will utilize valet parking.</p>	

C

SHOWINGS: Explain how the project is consistent with the criteria in Section 10-2.2514(C) of the Zoning Ordinance

1. Is the project designed in full accordance with the development standards of the zone in which it is located? If not, explain.

Yes.

2. Indicate how the location of buildings and structures respects the natural terrain and is integrated with natural features of the landscape including the preservation of existing trees where feasible.

Site is narrow and flat in an urban setting. 1st floor remains at street level for easy pedestrian access. No existing trees on site.

3. Describe the site in terms of its access to public rights-of-way. Give street names, widths, and flow characteristics.

The property sits along Avenue I in Redondo Beach with 42' of street frontage. Avenue I is approximately 80' wide with angled, head-in parking on both sides of the street. The property sits in a pedestrian oriented zone with an 8' wide sidewalk. Cross-streets are Catalina Ave. to the west and Elena Ave. to the east. Additionally, there is a 15' wide alley at the Northerly end of the property which can be accessed via parking areas off of Avenue I to the east and west.

4. Describe how the overall design is compatible with the neighborhood and in harmony with the scale and bulk of surrounding properties.

The overall height and size of the building maintains a scale consistent with regarding neighboring buildings on the street, particularly the neighbor to the east and the neighbor 2 buildings to the west. The building also maintains a pedestrian friendly street presence by stepping back from the sidewalk significantly at both the 2nd and 3rd stories.

5. Describe how the design of buildings and structures avoids the appearance of flat facades or boxlike construction.

The building uses a varied material palette, varied wall thicknesses and push-pull system of programmatic elements to create multiple deck and courtyard spaces. These strategies avoid flat facades and boxlike construction.

6. SIGNS: Indicate how the size, shape, color, materials, illumination, and placement of signs is harmonious and in scale with the building and surrounding area, and avoids needless repetition or proliferation of signs or any adverse impacts on surrounding properties.

Signage on the building will be minimal and will only include a sign for the restaurant that will conform to city standards.

OWNER'S AFFIDAVIT

Project address: 221 Avenue I Redondo Beach, CA 90277

Project description: New 3-story restaurant and office building with 1-level
of subterranean parking

I ~~(we)~~ Daniel Nguyen, being duly sworn, depose and say I am ~~(we are)~~ the owner(s) of all or part of the property involved and that this application has been prepared in compliance with the requirements printed herein. I ~~(we)~~ further certify, under penalty of perjury that the foregoing statements and information presented herein are in all respects true and correct to the best of my ~~(our)~~ knowledge and belief.

Signature(s): 

Address: 5 Buggy Whip Drive
Rolling Hills, CA 90274

Phone No. (Res.) 310.890.0654
(Bus.) _____

Subscribed and sworn to (or affirmed) before me this 26th day of August, 2015

by Daniel Nguyen, proved to me on the basis of satisfactory

evidence to be the person(s) who appeared before me.


FILING CLERK OR NOTARY PUBLIC

State of California)
County of Los Angeles) ss

Seal



**CITY OF REDONDO BEACH
PLANNING DIVISION**

RECEIVED BY: ML
DATE RECEIVED: 9/14/15
FILE NUMBER: 2015-15-COP-010

**APPLICATION FOR COASTAL DEVELOPMENT PERMIT
(or application for exemption or categorical exclusion)**

PLEASE NOTE: Within 30 days of receipt of an application, the Planning Division will inform the applicant in writing if the application is incomplete, and what items must be submitted to complete the application. Processing of the application will not begin until it is complete, pursuant to Section 10-5.2210 of the Municipal Code.

Application is hereby made to the City of Redondo Beach, for a Coastal Development Permit, pursuant to Article 10 of Chapter 5, Title 10 of the Redondo Beach Municipal Code.

A	APPLICANT INFORMATION	
	STREET ADDRESS OF PROPERTY: 221 Avenue I Redondo Beach, CA 90277	
	EXACT LEGAL DESCRIPTION OF THE PROPERTY: LOT: 16 BLOCK: 17 TRACT: 2546	ZONING: MU-3C
	RECORDED OWNER'S NAME: Buena Vista Real Estate Holdings LLC MAILING ADDRESS: 5 Buggy Whip Dr. Rolling Hills, CA 90274 TELEPHONE: 310-890-0654	AUTHORIZED AGENT'S NAME: Ryan Fischvogt MAILING ADDRESS: 2617 N. Sepulveda Blvd. #100 Manhattan Beach, CA 90266 TELEPHONE: 310-318-8089
	PROJECT DEVELOPER: MAILING ADDRESS: TELEPHONE:	PROJECT ARCHITECT/FIRM/PRINCIPAL: Tomaro Design Group MAILING ADDRESS: 2617 N. Sepulveda Blvd. #100 Manhattan Beach, CA 90266 TELEPHONE: 310-318-8089 LICENSE NO. C2294
B	TYPE OF APPLICATION (Consult with Planning Department staff)	
	<input type="checkbox"/> Exempt <input type="checkbox"/> Categorical Exclusion <input type="checkbox"/> Coastal Development Permit public hearing waiver <input checked="" type="checkbox"/> Coastal Development Permit public hearing required	

C PROJECT DESCRIPTION. (Provide a detailed description of the project.)

Demolition of existing 1-story, 1,030 sq. ft. retail building. New construction of 3-story, 6,600 sq. ft. mixed-use commercial building with 1 level of subterranean parking at 6,813 sq. ft. 1st floor of building to have 2,000 sq. ft. of restaurant space plus a 148 sq. ft. patio. 2nd and 3rd floors to have 4,600 sq. ft. of office space. 3rd floor deck will have a 195 sq. ft. lap pool.

D PROJECT INFORMATION: (Note: Please provide a detailed project description on a separate page.)

Where questions do not apply to your project, indicate "NOT APPLICABLE" or N.A.

I. TYPE OF PROJECT

- New 6600 Sq. Ft.
- Addition N.A. Sq. Ft.
- Demolition 1030 Sq. Ft.
- Change of use from Retail to Restaurant and Office
- Grading 2353 Cu. Yds.
- Fence 6'-0" Height 190' Length
- Paving 1130 Amount
- Other N.A.

2. ADDITIONAL INFORMATION

Note: If yes to any of the items b through h, please explain on a separate sheet.

- a. Has any application for development on this site been submitted previously to the California Coastal Zone Conservation Commission or Coastal Commission? YES NO
If yes, state previous Application Number:
- b. Are any utility extensions necessary to serve the project? If yes, explain. YES NO
Developed site in urban area, but new building may require upgrades to utility lines
- c. Does the development involve diking, filling, dredging or placing structures in open coastal waters? If yes, explain and indicate whether the U.S. Army Corps of Engineers Permit has been applied for.
 YES NO
- d. Will the development extend into or adjoin any beach, tidelands, submerged lands or public trust lands?
 YES NO
- e. Is the development in or near:
- Sensitive habitat areas? YES NO
 - 100 year floodplain? YES NO
 - Park or recreation area? YES NO
- f. Will the development harm existing lower-cost visitor and recreational facilities? YES NO
Will the development provide public or private recreational opportunities? YES NO
- g. Does the site contain any:
- Historic resources? YES NO
 - Archaeological Resources? YES NO
- h. Will the proposed development be visible from:
- Park, beach or recreation areas? YES NO
 - Harbor area? YES NO
- i. Is the project a "Priority Project" as defined by the City's NPDES Permit pursuant to Section 5-7.103 of the Redondo Beach Municipal Code? YES NO
- If yes, are copies (2 or 25 copies, as applicable) of the *Low Impact Development (LID)* report attached?
 YES NO Project is not a "priority project" as defined by the RBMC but a LID plan is provided per Public Works request.
- j. Is the a project with "Planning priority project characteristics" as defined by the City's NPDES Permit pursuant to Section 5-7.103 of the Redondo Beach Municipal Code? YES NO
- If yes, are copies (2 or 25 copies, as applicable) of the *Low Impact Development (LID)* report attached?
 YES NO Project is not a "priority project" as defined by the RBMC but a LID plan is provided per Public Works request.

E	SHOWINGS: Explain how the project is consistent with the Certified Local Coastal Program.
	<p>1. Is the project designed in full accordance with the development standards and other provisions of the Zoning Ordinance for the Coastal Zone? If not, explain. Yes.</p>
	<p>2. If the proposed development is located between the sea and the first public road paralleling the sea, indicate how it is in conformity with the public access and public recreation policies of Chapter 3 of Division 20 of the California Public Resources Code. N.A.</p>

3. Will the project have an effect on public access to and along the shoreline, either directly or indirectly (e.g. removing parking used for access to the beach)? If yes, describe the effect.

No

OWNER'S AFFIDAVIT

Project address: 221 Avenue I Redondo Beach, CA 90277

Project description: New 3-story restaurant and office building with 1-level
of subterranean parking

I (~~we~~) Daniel Nguyen, being duly sworn, depose and say I am (~~we are~~) the owner(s) of all or part of the property involved and that this application has been prepared in compliance with the requirements printed herein. I (~~we~~) further certify, under penalty of perjury that the foregoing statements and information presented herein are in all respects true and correct to the best of my (~~our~~) knowledge and belief.

Signature(s): _____

Address: S Buggy Whip Drive
Rolling Hills, CA 90274

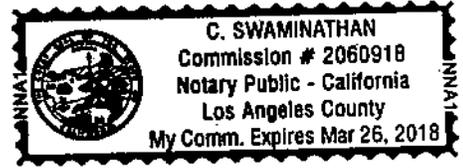
Phone No. (Res.) 310. 890. 0654
(Bus.) _____

Subscribed and sworn to (or affirmed) before me this 26th day of August, 2015 by Daniel Nguyen, proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

C. Swaminathan
FILING CLERK OR NOTARY PUBLIC

State of California)
County of Los Angeles) ss

Seal



NEW COMMERCIAL BUILDING

221 AVENUE I

REDONDO BEACH, CA 90277



ARCHITECTURE

2617 N. SEPULVEDA
MANHATTAN BEACH
CALIFORNIA 90266

TEL: 310-318-8089
FAX: 310-318-9400
WWW.TOMARO.COM

GENERAL NOTES

- ALL CONSTRUCTION TO COMPLY WITH 2013 CBC. FOR ADDITIONAL CONDITIONS AND REFERENCE PLEASE SEE THE COMPLETE 2013 CBC.
- INSTALLATION OF INTERIOR AND EXTERIOR WALL AND CEILING COVERINGS SHALL CONFORM TO CHAPTER 25 CBC.
- ALL WATER CLOSETS TO FLUSH WITH 1.28 GALLON MAX, SHOWER HEADS 2 GPM, AND FAUCETS .5 GPM.
- ALL HOSE BIBS MUST BE PROTECTED BY BACK FLOW PREVENTION AND HAVE AN ANTI-SIPHON DEVICE.
- PROVIDE APPROVED BACKWATER VALVE FOR ALL PLUMBING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. PROVIDE CAST IRON WASTE PIPING RISERS.
- WRITTEN APPROVAL FROM THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD). (714)396-2000 PER RULE 1403 FOR THE PROPER DISPOSAL OF ASBESTOS.
- ONLY LOS ANGELES COUNTY HEALTH DEPARTMENT APPROVED DEVICES MAY BE UTILIZED FOR LANDSCAPE IRRIGATION BACK FLOW PREVENTION DEVICES.
- VERIFY CLEARANCES WITH OVERHEAD UTILITY LINES FROM ALL PERMANENT AND TEMPORARY STRUCTURE INCLUDING SCAFFOLDING AND OTHER WORKING AREAS DURING CONSTRUCTION. CLEARANCE TO BE 8 FT. HORIZONTAL AND 12 FT. VERTICAL. VERIFY WITH SOUTHERN CALIFORNIA EDISON CO. BEFORE COMMENCING CONSTRUCTION.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
- COMPLY WITH CBC SECT 3306 REGARDING PROTECTION OF PEDESTRIANS DURING CONSTRUCTION.
- ELEVATOR SHALL REQUIRE APPROVAL AND PERMIT FROM THE STATE PRIOR TO PERMIT ISSUANCE AND SHALL COMPLY WITH CBC CHAPTER 30.
- PROVIDE DEFERRED SUBMITTAL FOR PLUMBING DWGS PRIOR TO INSTALLATION.
- ALL WORK SHALL CONFORM WITH THE REQUIREMENTS OF CBC 2013, AND ORDINANCES OF THE CITY OF MANHATTAN BEACH.
- BUILDING SHALL BE PROVIDED WITH APPROVED ADDRESS AND NUMBERS AND LETTERS. EACH CHARACTER SHALL BE A MINIMUM 4 INCHES HIGH AND A MINIMUM OF .5 INCH WIDE. THEY SHALL BE INSTALLED ON A CONTRASTING BACKGROUND AND BE PLAINLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. CBC SEC. (F)501.2.
- NOT USED
- OBTAIN STATE APPROVAL AND PERMIT FOR ELEVATORS PRIOR TO INSTALLATION. ELEVATORS TO COMPLY WITH CHAPTER 30 AND 11 CBC, AND SHALL COMPLY WITH GURNEY REQUIREMENTS.
- ALL FINISHES SHALL COMPLY WITH CBC CHAPTER 8, TABLE 803.9, USE CLASS 'A' FLAME SPREAD RATING. ALL INTERIOR FINISHES SHALL COMPLY WITH SECTION 804.
- OBTAIN STATE APPROVAL AND PERMIT FROM THE STATE ELEVATOR DIVISION PRIOR TO INSTALLATION. ALSO TO COMPLY WITH CHAPTERS 30 AND 11B, 2013 CBC.

BUSINESS PLAN

RESTAURANT

OPERATING HOURS: 5:00 PM TO CLOSE
NUMBER OF EMPLOYEES: 12

2ND FLOOR OFFICE

OPERATING HOURS: 7:00 AM TO 4:00 PM
NUMBER OF EMPLOYEES: 5

3RD FLOOR OFFICE AND 2ND FLOOR PRIVATE CONFERENCE ROOM

OPERATING HOURS: 7:00 AM TO 4:00 PM
NUMBER OF EMPLOYEES: 3

PARKING SYSTEM

BELOW GRADE PARKING GARAGE WITH PARALLEL PARKING SPACES ALONG EACH WALL 15 TOTAL SPACES PROVIDED, 1 ADA VAN SPACE, 1 COMPACT SPACE, 13 STANDARD SPACES.

OFFICE EMPLOYEES AND OFFICE VISITORS WILL SELF-PARK DURING OFFICE HOURS. VALET PARKING WILL BE PROVIDED DURING RESTAURANT OPERATION.

PARKING GARAGE UTILIZES A CAR TURNABLE TO ALLOW CARS TO TURN AROUND AND PULL FORWARD OUT OF GARAGE.

CONSULTANTS

CIVIL ENGINEER

BOLTON ENGINEERING CORP. 310.325.5580
25834 NARBONNE AVENUE SUITE 210
LOMITA, CA, 90717

SYMBOL LEGEND

- 12" DIFFERENTIAL IN FLOOR ELEVATION, FINISH SURFACE, OR CHANGE IN WALL PLAN
- 100.00' ELEVATION
- S.F.E. SUB FLOOR ELEVATION
- 100.00' ELEVATION
- LT.WT. LIGHT WEIGHT CONCRETE FLOOR ELEVATION
- A SHEET NUMBER
- B-A-00-D ELEVATION DESIGNATION
- 4:12 SLOPED SURFACE
- ROOF SLOPE SURFACE DESCRIPTION (ARROW POINTS DOWN SLOPE)
- FLOW LINE (ARROW POINTS DOWN SLOPE)
- ROOF SLOPE DESCRIPTION
- 12 SLOPE RUN
- 4 SLOPE RISE
- A WINDOW LETTER DESIGNATION
- 1 DOOR NUMBER DESIGNATION
- SKYLIGHT LETTER DESIGNATION
- 1 PARKING NUMBER DESIGNATION
- NORTH ARROW DESIGNATION
- REVISION NUMBER
- EXTENTS OF REVISION
- A SECTION NUMBER
- A-00 SHEET NUMBER
- DN. 0 R. 0" TOP/BOTTOM RISER
- 0" # OF RISERS UP/DOWN

ABBREVIATION

A.H.	ACTUAL HEIGHT	HORZ.	HORIZONTAL
A.W.	AWNING WINDOW	HT.	HEIGHT
B.O.W.	BOTTOM OF WALL	LAND.	LANDING
C.H.	CRITICAL HEIGHT	LT.WT.	LIGHT WEIGHT CONCRETE
CLG.	CEILING	MAX.	MAXIMUM
CLR.	CLEAR	MIN.	MINIMUM
COL.	COLUMN	OP.	OPERABLE
CONC.	CONCRETE	PLINE.	PROPERTY LINE
C.W.	CASEMENT WINDOW	REQ.	REQUIRED
DIM.	DIMENSION	SECT.	SECTION
DN.	DOWN	S.F.E.	SUB FLOOR ELEVATION
ELEV.	ELEVATION	SHT.	SHEET
F.A.	FROM ABOVE	SK.	SKewed
FLR.	FLOOR	SL.	SLOPED
FX.	FIXED	T.O.W.	TOP OF WALL

PROJECT DATA

PROPERTY OWNER

BUENA VISTA REAL ESTATE HOLDINGS, LLC
5 BUGGY WHIP DR.
ROLLING HILLS, CA 90274

LEGAL DESCRIPTION

LOT:1 BLOCK:17 P M 82-38
APN 7511-007-056

OCCUPANCY AND ZONING

OCCUPANCY: A-2 - FIRST FLOOR RESTAURANT
B - SECOND AND THIRD FLOOR OFFICES
S-2 - BASEMENT PARKING

CONSTRUCTION TYPE: V-B, FULLY SPRINKLERED (ENTIRE BUILD.)

ZONING: MU-3C

NO. OF STORIES: 4

CITY, STATE, NATIONALLY APPLICABLE CODES

2013 CBC, 2013 CMC, 2013 CPC, 2013 CEC, AND 2013 STATE ENERGY CODE STATE OF CALIFORNIA, AND THE CITY OF REDONDO BEACH 2013 CA ENERGY CONSERVATION STANDARDS 2013 CA GREEN BUILDING STANDARDS CODE

AREA CALCULATIONS

LOT SIZE: 8,297 S.F.
EXISTING SQUARE FOOTAGE(TO BE DEMOED): 1,030 S.F.

BASEMENT FLOOR

PARKING AREA: 6,813 S.F.

FIRST FLOOR

RESTAURANT AREA: 2000 S.F.
CIRCULATION(OFFICE) AREA: 497 S.F.
TOTAL AREA: 2,497 S.F.

SECOND FLOOR

OFFICE AREA: 2,598 S.F.
TOTAL AREA: 2,598 S.F.

THIRD FLOOR

OFFICE AREA: 1,505 S.F.
TOTAL AREA: 1,505 S.F.

GROSS FLOOR AREA: 6,600 S.F.
ALLOWABLE BFA: (1.5 X 8,297) = 12,445 S.F.

PARKING CALCULATIONS

RESTAURANT USE: 2000 S.F./250 REQ'D = 8 SPACES
OFFICE USE: 4600 S.F./300 REQ'D = 15.3 SPACES
PARKING REQ'D 15 SPACES (15.3)
PARKING PROVIDED 15 SPACES
13 STANDARD
1 ADA (1 VAN)
1 COMPACT (7%)

*FOR GREATER AREA/PARKING CALC DETAIL SEE SHEET A.0.0

SCOPE OF WORK

DEMOLITION OF EXISTING BUILDING AND CONSTRUCTION OF NEW 3-STORY MIXED USED COMMERCIAL BUILDING WITH ONE LEVEL OF SUBTERRANEAN PARKING.

SHEET INDEX

GENERAL

G.0.0 TITLE SHEET AND GENERAL NOTES

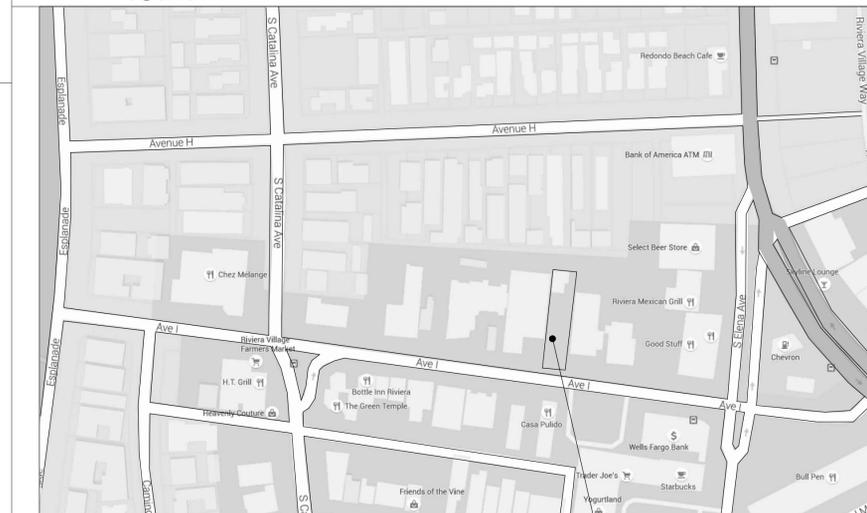
CIVIL

C0.1 SURVEY

ARCHITECTURAL

A.0.0 AREA CALCULATIONS
A.1.0 SITE PLAN & ROOF PLAN
A.2.0 BASEMENT AND FIRST FLOOR PLAN
A.2.1 SECOND AND THIRD FLOOR PLAN
A.3.0 ELEVATIONS
A.3.1 ELEVATIONS
A.4.0 SECTIONS
A.5.0 3D RENDERINGS
A.5.1 3D RENDERINGS

VICINITY MAP



PROJECT SITE



REDONDO BEACH, CA

PROJECT

NEW COMMERCIAL BUILDING
221 AVENUE I
REDONDO BEACH
CA 90277

STAMP

REVISIONS

PROJECT NO.

15021

PRINT DATE

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SHEET NO.

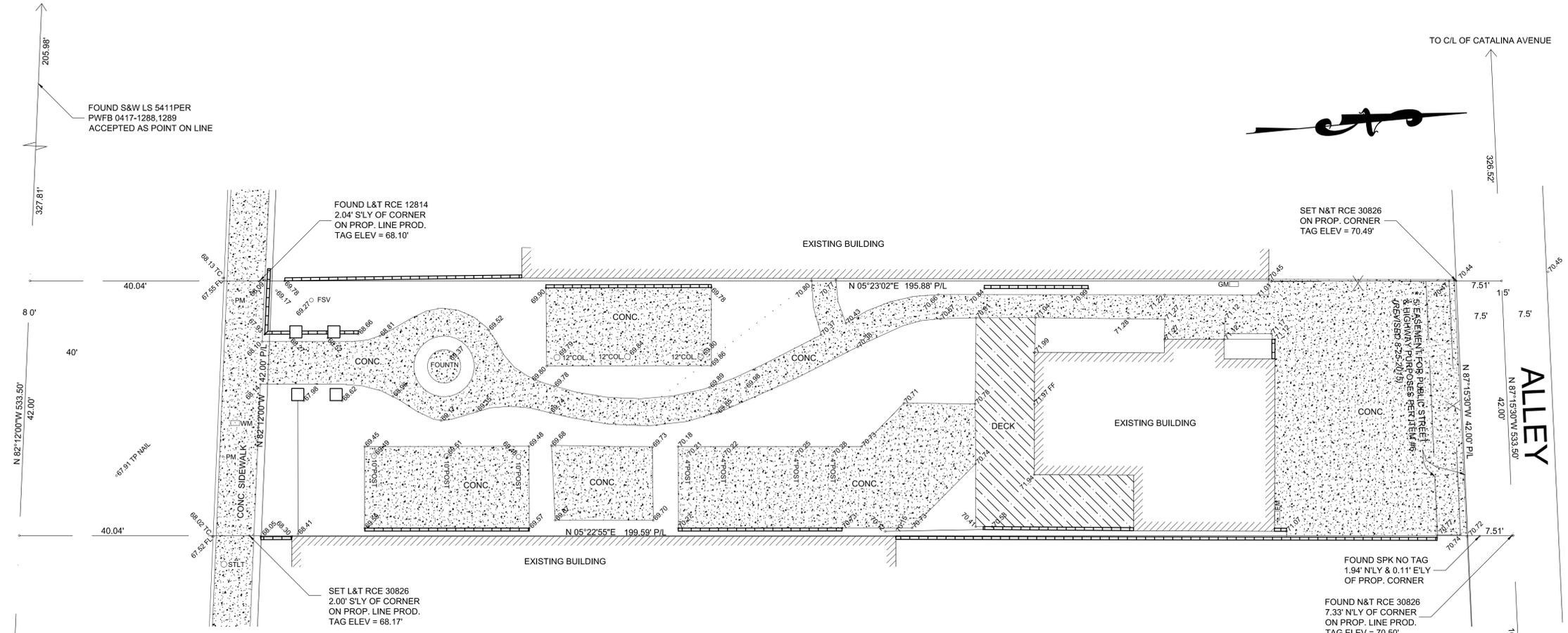
G.0.0

AVENUE 'I'

TO FOUND S&W @ CATALINA AVENUE
PER PWFB 0417-2073,2074

FOUND S&W LS 5411 PER
PWFB 0417-1288,1289
ACCEPTED AS POINT ON LINE

TO C/L OF CATALINA AVENUE



FOUND L&T RCE 12814
2.04' S'LY OF CORNER
ON PROP. LINE PROD.
TAG ELEV = 68.10'

SET N&T RCE 30826
ON PROP. CORNER
TAG ELEV = 70.49'

SET L&T RCE 30826
2.00' S'LY OF CORNER
ON PROP. LINE PROD.
TAG ELEV = 68.17'

FOUND SPK NO TAG
1.94' N'LY & 0.11' E'LY
OF PROP. CORNER

FOUND N&T RCE 30826
7.33' N'LY OF CORNER
ON PROP. LINE PROD.
TAG ELEV = 70.50'

78.01'

FOUND S&W LS 5411 PER
PWFB 0417-1288,1289
ACCEPTED AS P/L PROD.
E'LY LINE LOT 14

FOUND PK, NO REFERENCE.
ACCEPTED AS POINT ON LINE

TO FOUND NAIL, NO REFERENCE.
ACCEPTED AS POINT ON LINE

NOTE:
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE
TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY
HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.

* ITEM #6 - TO THE CITY OF REDONDO BEACH, A MUNICIPAL CORPORATION FOR PUBLIC
STREET AND HIGHWAY PURPOSES RECORDED MARCH 16, 2009 AS INSTRUMENT NO.
20090373830, OF O.R.

CHICAGO TITLE INSURANCE COMPANY
ORDER NO. CA-FLAC-IMP-72307-1-14-00232929
DATED NOVEMBER 20, 2014

(REVISED 8-25-2015)

LEGEND

	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
	+106.76 EXISTING ELEVATION		EXISTING CONTOUR
	BLOCK WALL		EXISTING FENCE
	BCR BEGINNING OF CURB RETURN		CL CHAINLINE
	ELY EASTERLY		EM ELECTRIC METER
	FD FOUND		FE FINISH FLOOR
	FF FINISH FLOOR		FH FIRE HYDRANT
	FL FLOW LINE		GFF GARAGE FINISH FLOOR
	GM GAS METER		GW GUY WIRE
	LAT LEAD AND TAG		MH MANHOLE
	N'LY NORTHERLY		PC PROPERTY CORNER / PROP. CORNER
	PL, P/L PROPERTY LINE / PROP. LINE		PP POWER POLE
	PPT PARAPET		S&W SPIKE AND WASHER
	SPK SPIKE		SSCO SANITARY SEWER CLEAN OUT
	SSMH SANITARY SEWER MANHOLE		STK STAKE
	STLT STREET LIGHT		TC TOP OF CURB
	TW TOP OF WALL/T.O.W.		TK TOP OF DRIVEWAY APRON
	W'LY WESTERLY		WM WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT (310) 542-9433, M-F 8:00 AM TO 5:00 PM.

SCALE: 1" = 10'

SITE ADDRESS
221 AVENUE 'I'
REDONDO BEACH, CA 90277

LEGAL DESCRIPTION
LOT 1 & EX OF ALLEY
P.M. NO. 8099
P.M.B. 82-38
APN 7511-007-056

R.C.E. 30826

GARY J. ROEHL

JOB NO. 07-544B

DENN ENGINEERS

3914 DEL AMO BLVD, SUITE 921
TORRANCE, CA 90503 (310) 542-9433

SHEET 1 OF 1

SURVEY AND TOPOGRAPHY

FOR
BUENA VISA REAL ESTATE
5 BUGGY WHIP DRIVE
ROLLING HILLS, CA 90274
310-890-0654

CHECKED BY: TS:IMW
DATE: 7-9-2015
REV: 8-25-2015

DATE: 7-9-2015
REV: 8-25-2015



ARCHITECTURE

2617 N. SEPULVEDA
MANHATTAN BEACH
CALIFORNIA 90266

TEL: 310-318-8089
FAX: 310-318-9400
WWW.TOMARO.COM

PROJECT
NEW COMMERCIAL BUILDING
221 AVENUE 'I'
REDONDO BEACH
CA 90277

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CIVIL SURVEY

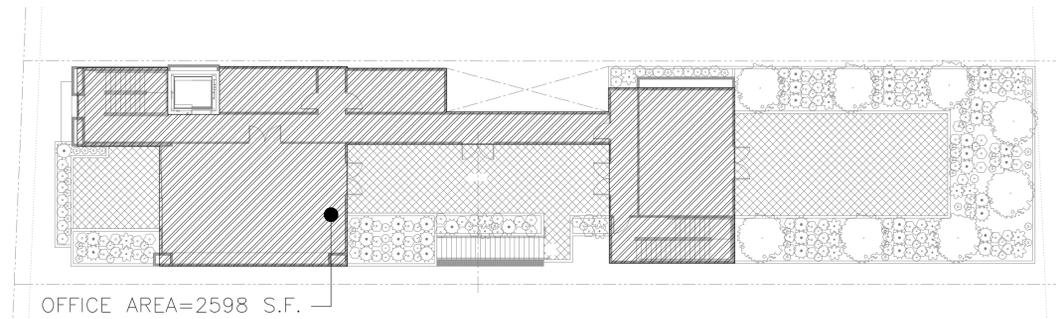
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SHEET NO.
C.01

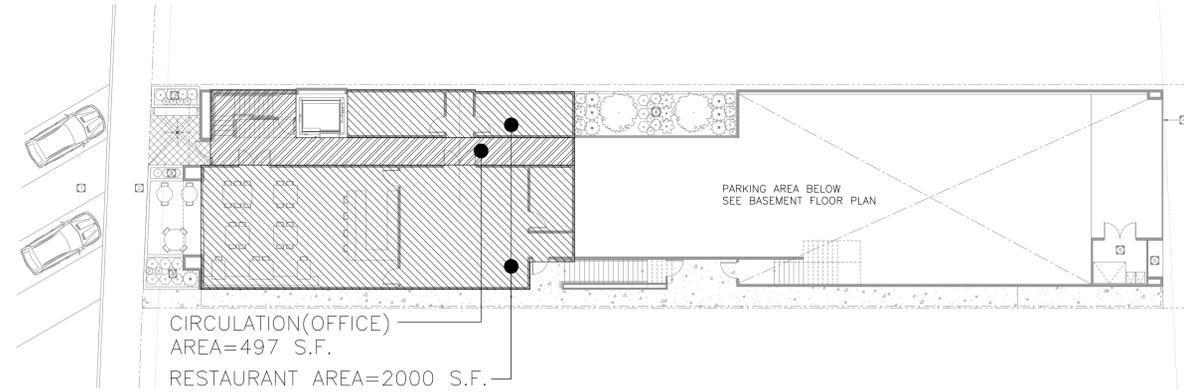
AREA CALCS	
OFFICE AREA=	4600 S.F.
RESTAURANT AREA=	2000 S.F.
BUILDING TOTAL=	6600 S.F.
RESTAURANT DECK AREA=	148 S.F.
TOTAL OFFICE DECK AREA=	3187 S.F.
TOTAL LANDSCAPE AREA=	3046 S.F.

PARKING CALCS	
PARKING AREA=	6813 S.F.
OFFICE USE(1 SPACE PER 300 SF):	
OFFICE AREA =	4600 S.F.
$4600/300 =$	15.3 SPACES
RESTAURANT USE(1 SPACE PER 250 SF):	
RESTAURANT AREA =	2000 S.F.
$2000/250 =$	8 SPACES
TOTAL PARKING PROVIDED:	15 SPACES

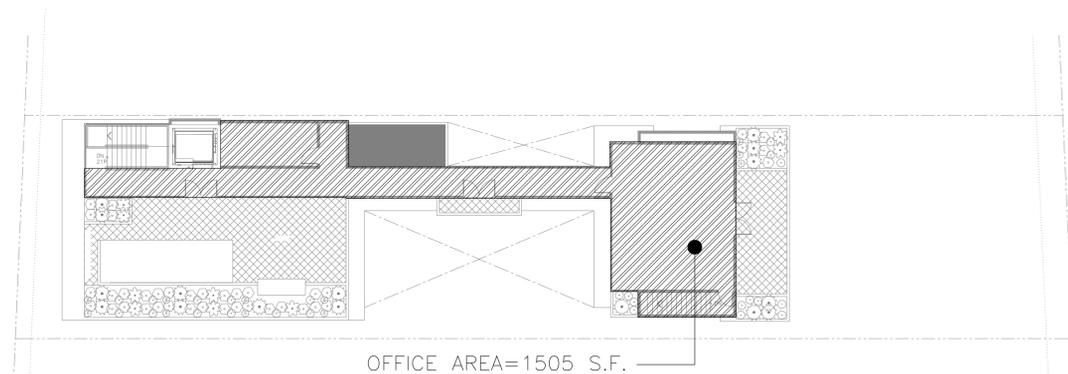
POCHE LEGEND	
GRAPHIC	DESCRIPTION
	RESTAURANT AREA
	OFFICE AREA
	PARKING AREA



SECOND FLOOR PLAN
SCALE: 1/32"=1'-0"



FIRST FLOOR PLAN
SCALE: 1/32"=1'-0"

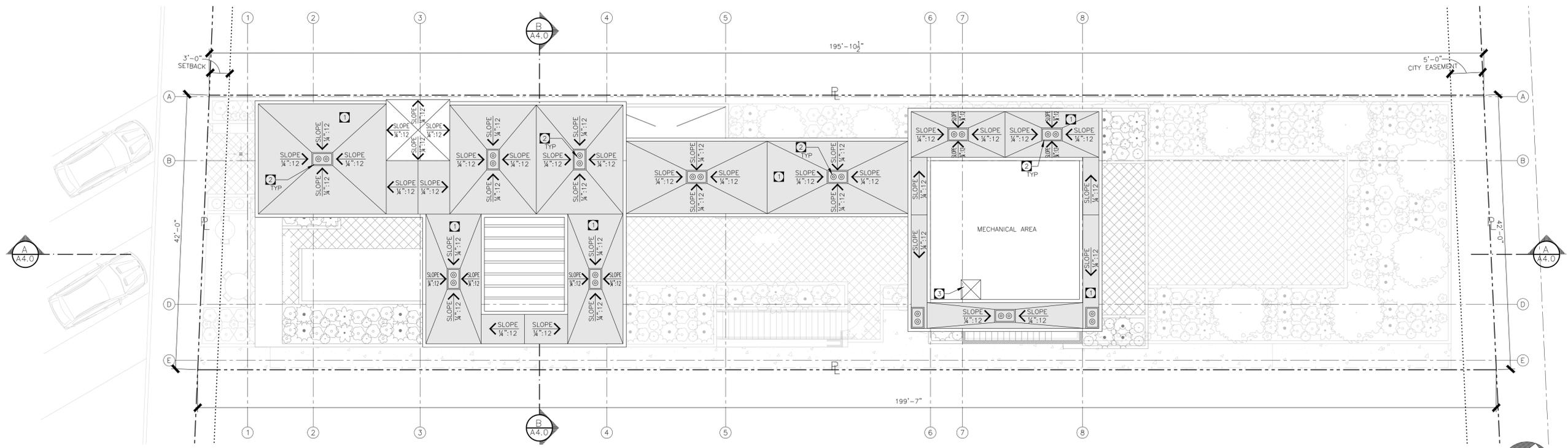


THIRD FLOOR PLAN
SCALE: 1/32"=1'-0"



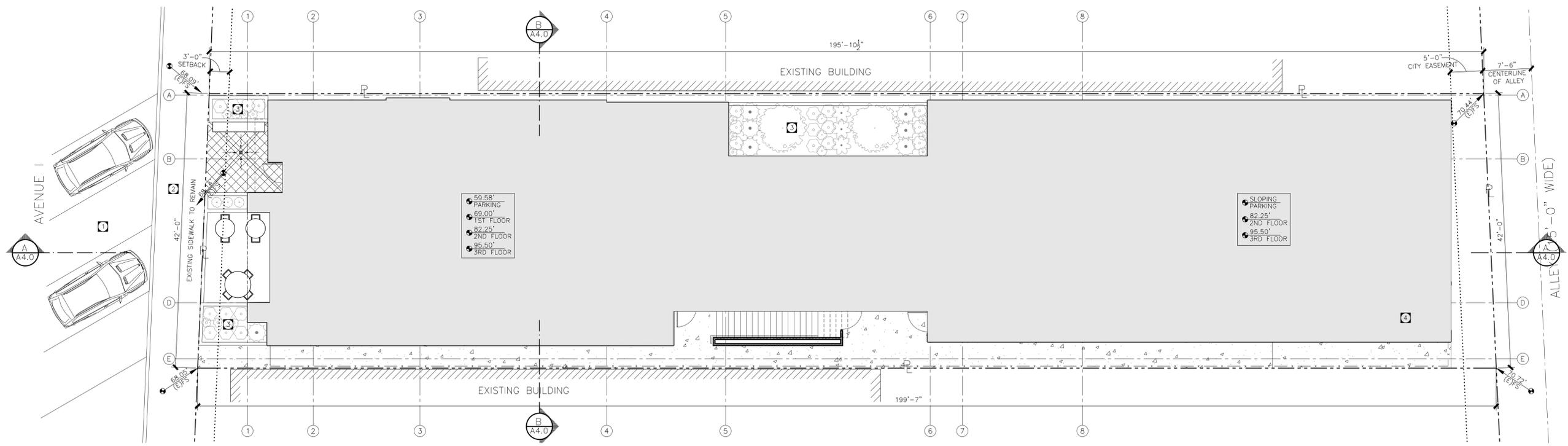
BASEMENT PLAN
SCALE: 1/32"=1'-0"



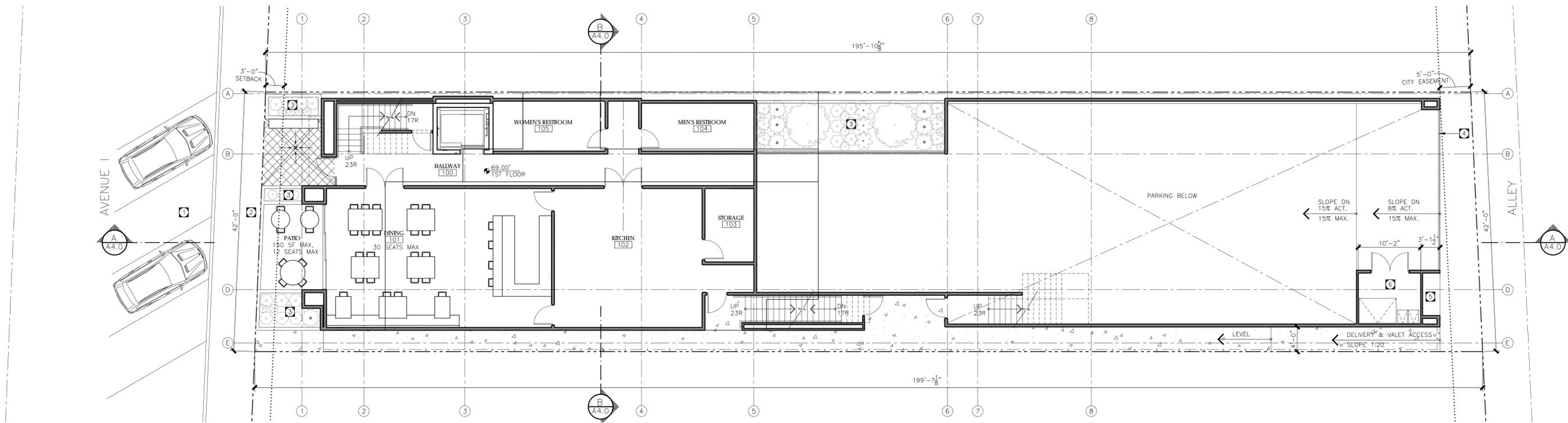


ROOF PLAN
SCALE: 1/16"=1'-0"

SITE PLAN KEYNOTES	ROOF PLAN KEYNOTES
<ul style="list-style-type: none"> 1 EXISTING PARKING TO REMAIN 2 EXISTING SIDEWALK TO REMAIN, REPLACED AS NECESSARY PER PUBLIC WORKS 3 LANDSCAPE 4 TRASH ENCLOSURE LOCATED AT PARKING LEVEL 	<ul style="list-style-type: none"> 1 FLAT ROOF: FLUID APPLIED MONOLITHIC MEMBRANE BY "NEPTUNE COATINGS," MODEL "WETSUIT." TESTING: FM4470, ASTM E108, ASTM G26, ASTM D-3746, ASTM G155, ASTM D903, ASTM E96, AND ASTM E283. TO BE USED WITH "NEPTUNE COATINGS" "REFLEX" WHITE REFLECTIVE TOP COAT W/ SRI INDEX OF 81.8 (MIN REQ'D SRI INDEX OF 78), MIN CLASS-B PER SECTION 704.11 EXCEPTION 4.4. 2 ROOF DRAIN: JR SMITH MODEL 1800, SEE P-1.0 AND P-2.5 FOR MORE INFORMATION 3 ROOF ACCESS HATCH

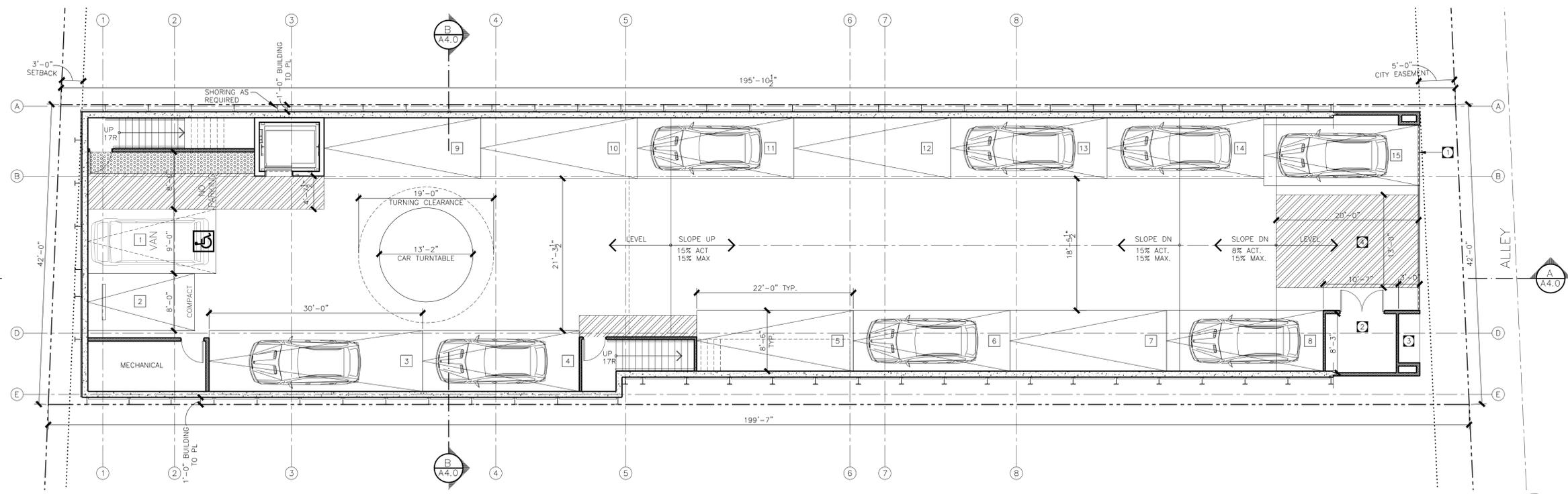


SITE PLAN
SCALE: 1/16"=1'-0"

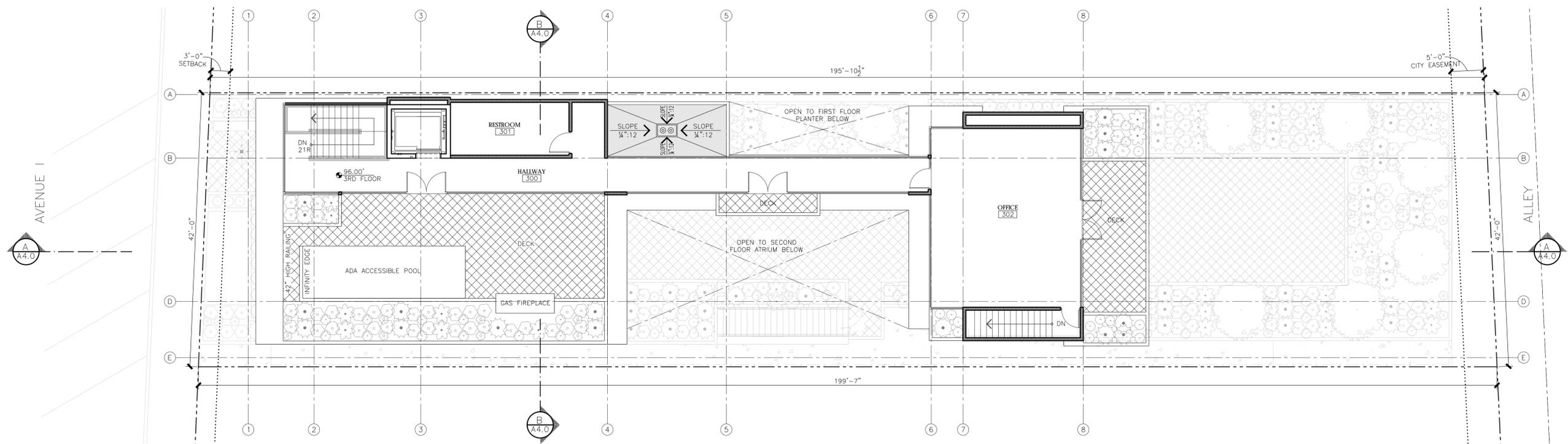


FIRST FLOOR PLAN
SCALE: 1/16"=1'-0"

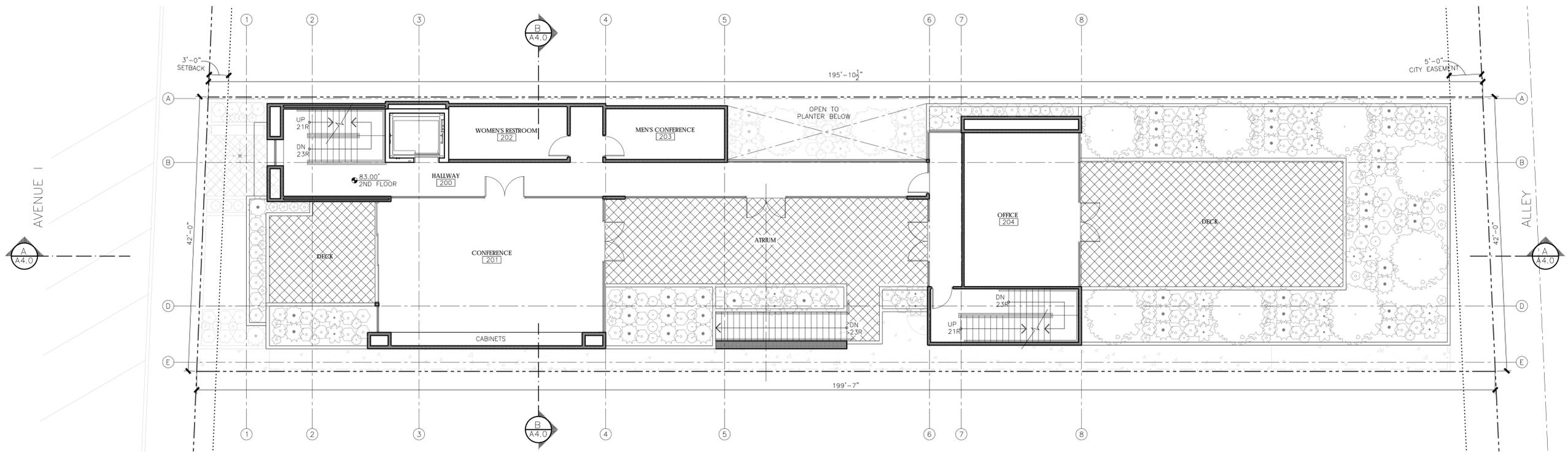
BASEMENT FLOOR PLAN KEYNOTES	FIRST FLOOR PLAN KEYNOTES
1 LIFT UP GARAGE DOOR, VEHICLE GATE TO REMAIN OPEN DURING BUSINESS HOURS.	1 EXISTING PARKING TO REMAIN
2 VALET PARKING STAND	2 EXISTING SIDEWALK TO REMAIN, REPLACED AS NECESSARY PER PUBLIC WORKS
3 TRASH ENCLOSURE	3 LANDSCAPE
4 20'-0"X13'-0" LOADING AND UNLOADING ZONE WITH A MAXIMUM SLOPE OF 2% AND 9'-6" CLEAR HEIGHT.	4 LIFT UP GARAGE DOOR, VEHICLE GATE TO REMAIN OPEN DURING BUSINESS HOURS.
	5 VALET PARKING STAND
	6 TRASH ENCLOSURE



BASEMENT PLAN
SCALE: 1/16"=1'-0"

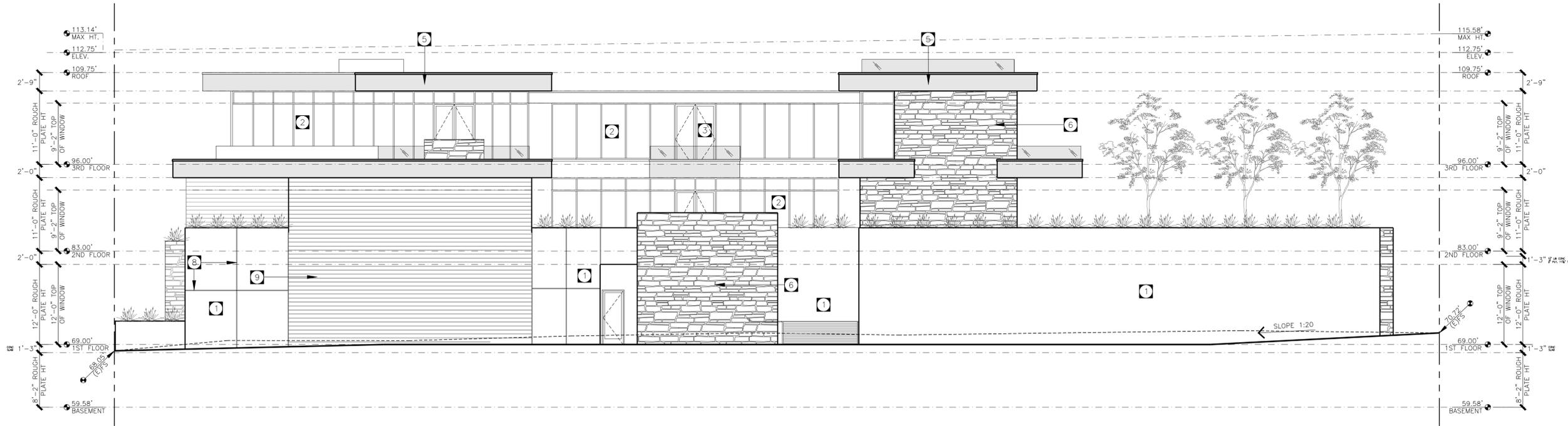


THIRD FLOOR PLAN
SCALE: 1/16"=1'-0"



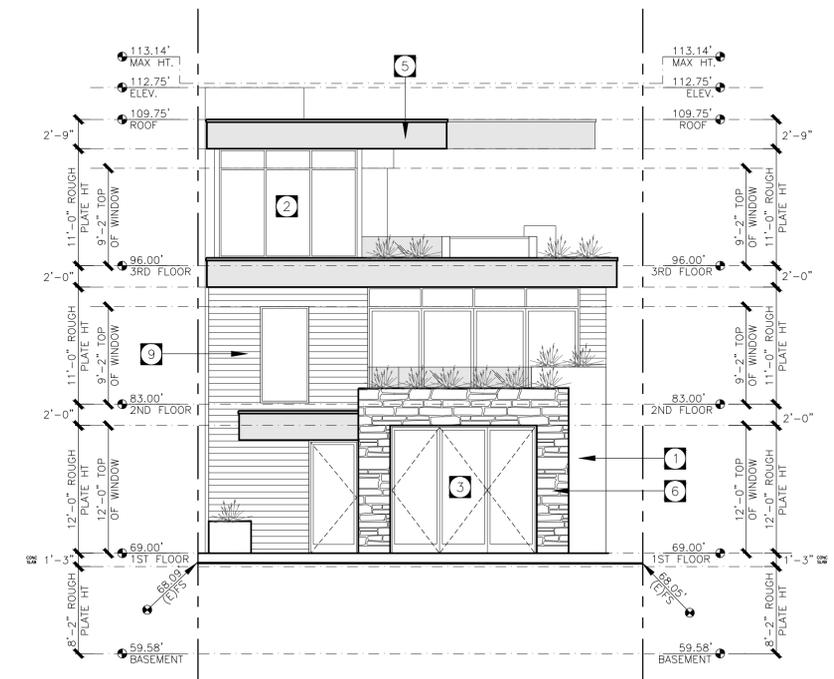
SECOND FLOOR PLAN
SCALE: 1/16"=1'-0"



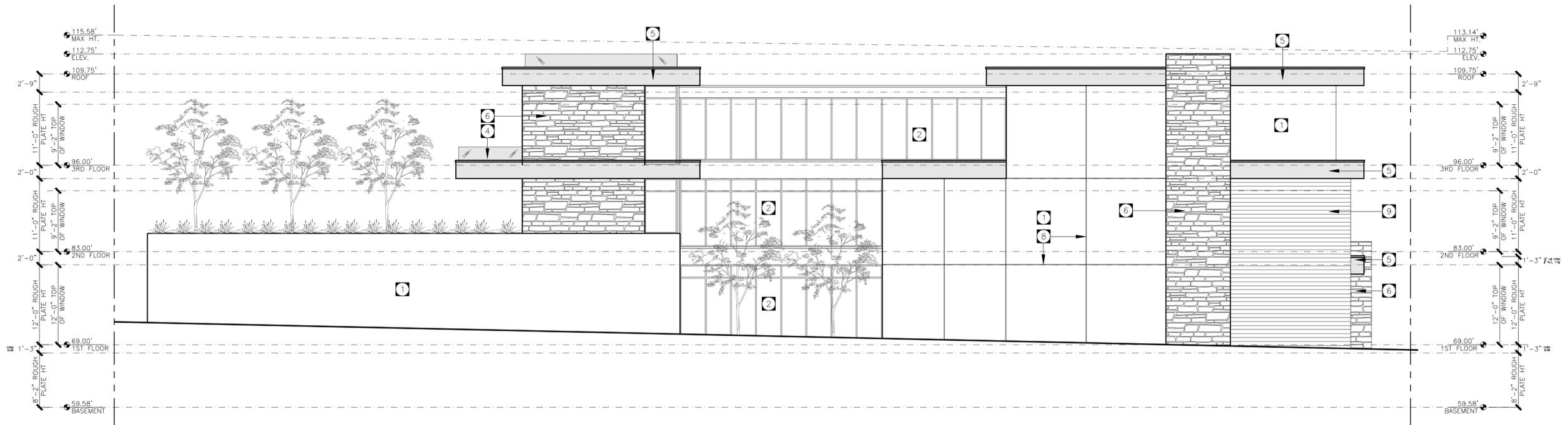


EAST ELEVATION
SCALE: 1/16"=1'-0"

EXTERIOR FINISH NOTES	
1	STUCCO: 7/8" SMOOTH TROWEL FINISH STUCCO PLASTER OVER WIRE LATH ATTACHED WITH #8 COOLER NAILS @ 8" O.C. OWNER AND ARCHITECT TO SELECT AND/OR APPROVE COLOR.
2	WINDOWS: COLOR SHALL BE SELECTED BY OWNER AND ARCHITECT.
3	DOORS: COLOR SHALL BE SELECTED BY OWNER AND ARCHITECT.
4	GLASS RAILING
5	ALUMINUM FASCIA: ALUMINUM BRAKE METAL FASCIA. COLOR TO BE SELECTED BY ARCHITECT.
6	STONE VENEER: EL DORADO STONE VENEER ATTACHED PER CBC SECTION 1405.6, ICC EVALUATION REPORT #ESR-1215. PROVIDE PRECAST CONCRETE LEDGE CAP TO TOP. SEE DETAIL.
7	GARAGE SECURITY GATE
8	FRY REGLET 3/8"
9	WOOD SIDING

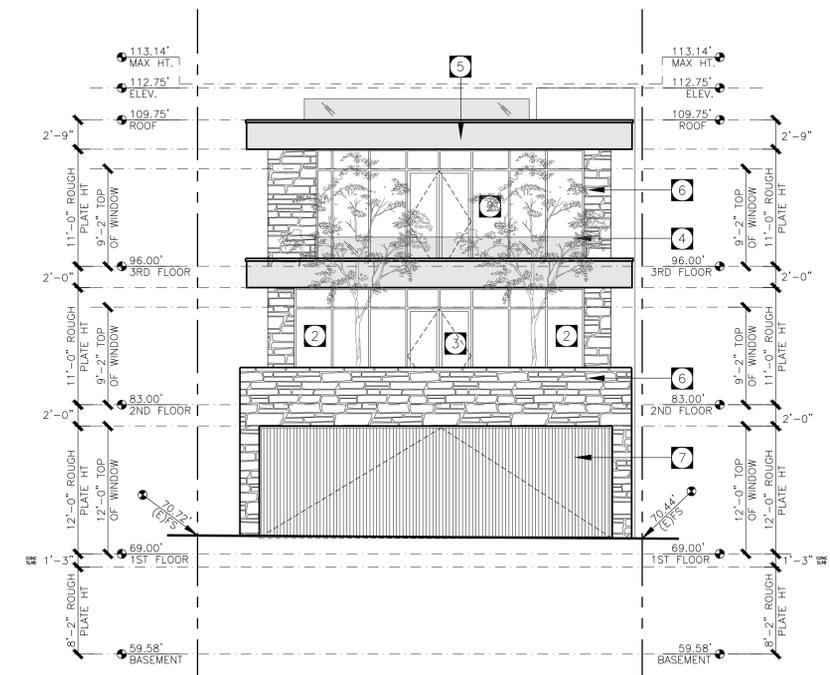


SOUTH ELEVATION
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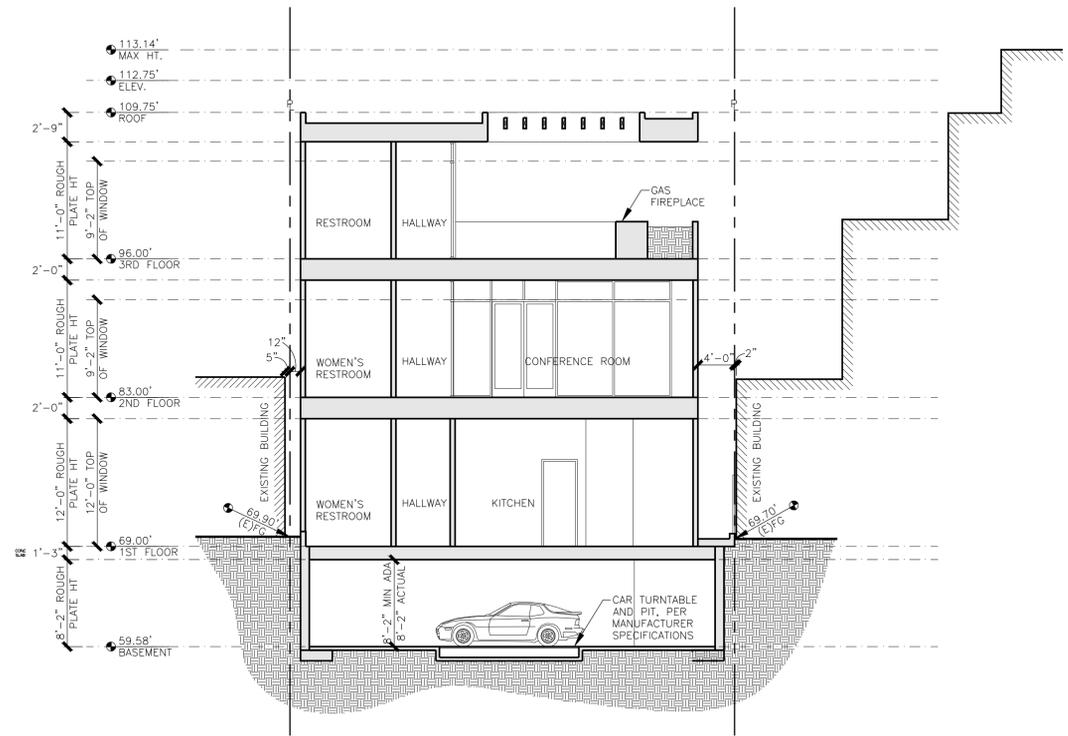


WEST ELEVATION
SCALE: 1/16"=1'-0"

EXTERIOR FINISH NOTES	
1	STUCCO: 7/8" SMOOTH TROWEL FINISH STUCCO PLASTER OVER WIRE LATH ATTACHED WITH 8d COOLER NAILS @ 6" O.C. OWNER AND ARCHITECT TO SELECT AND/OR APPROVE COLOR.
2	WINDOWS: COLOR SHALL BE SELECTED BY OWNER AND ARCHITECT.
3	DOORS: COLOR SHALL BE SELECTED BY OWNER AND ARCHITECT.
4	GLASS RAILING
5	ALUMINUM FASCIA: ALUMINUM BRAKE METAL FASCIA. COLOR TO BE SELECTED BY ARCHITECT.
6	STONE VENEER: EL DORADO STONE VENEER ATTACHED PER CBC SECTION 1405.6. ICC EVALUATION REPORT #ESR-1215. PROVIDE PRECAST CONCRETE LEDGE CAP TO TOP. SEE DETAIL.
7	GARAGE SECURITY GATE
8	FRY REGLET 3/8"
9	WOOD SIDING



NORTH ELEVATION
SCALE: 1/16"=1'-0"



SECTION B
SCALE: 1/16"=1'-0"

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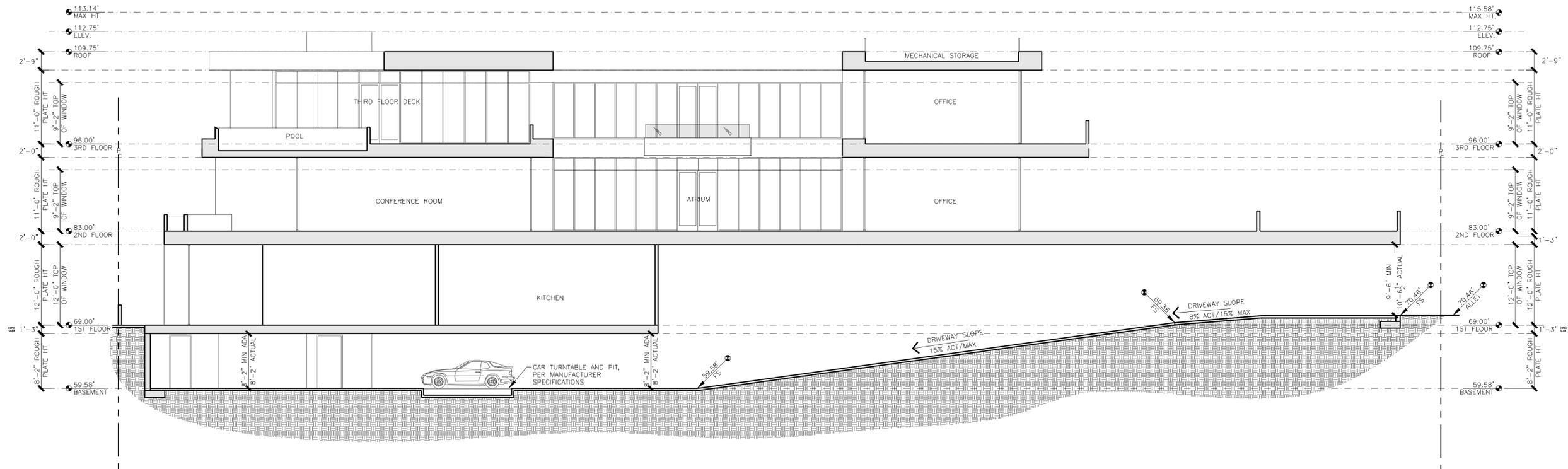
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SECTION A
SCALE: 1/16"=1'-0"



SHEET NO.

A.4.0



EAST ELEVATION

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SOUTH ELEVATION

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SHEET NO.
A.5.0



WEST ELEVATION

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NORTH ELEVATION

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SHEET NO.
A.5.1



Administrative Report

Planning Commission Hearing Date:

October 15, 2015

AGENDA ITEM: 9 (PUBLIC HEARING)

PROJECT LOCATION: 204 S. HELBERTA AVENUE &
205 S. IRENA AVENUE

APPLICATION TYPE: LOT LINE ADJUSTMENT AND AN EXEMPTION
DECLARATION

CASE NUMBER: 2015-10-PC-015

APPLICANT'S NAME: DENNIS CLELAND & EVGENY KERNES

APPLICANT'S REQUEST AS ADVERTISED:

Consideration of an Exemption Declaration and Lot Line Adjustment to realign the property lines of two adjacent lots located within a Low Density Multi-Family Residential (R-3) zone.

DEPARTMENT'S RECOMMENDATION:

The Planning Division recommends that the Planning Commission make the findings as set forth in the staff report and attached resolution, approve the Lot Line Adjustment and adopt the Exemption Declaration subject to the plans and applications submitted.

BACKGROUND/EXISTING CONDITIONS:

The project includes two existing parcels that share a rear property line. Parcel 1 (Lot 21) is located at 205 South Irena Avenue and is approximately 6,038 square feet and Parcel 2 (Lot 26) is located at 204 South Helberta Avenue and is approximately 6,818 square feet. The Irena site is currently developed with a single family residence built around 1938 and the Helberta site is currently developed with multiple residences built around 1952. The Helberta site has been administratively approved for a new two-unit condominium development and the Irena site is currently in process for a potential two-unit condominium development.

Prior to the Subdivision Map Act, it was common practice to deed a portion of property to an abutting property. In this case, the rear 10 feet of Parcel 1 was deeded to Parcel 2. This resulted in an exchange of approximately 405 square feet. Given that the majority of the lots within this block are approximately the same dimensions, Parcel 1

became much smaller than its neighbors and, conversely, Parcel 2 became much larger.

DETAILED DESCRIPTION OF REQUEST:

The request involves relocating the rear property line between the two underlying parcels approximately 10 feet to the west. The lot line adjustment will restore the two parcels to their original depths of approximately 161 feet for Parcel 1 and 160 feet for Parcel 2. The adjustment to that property line will result in parcel sizes and shapes that are consistent with other properties in the neighborhood and consistent with the City's zoning ordinance.

EVALUATION OF REQUEST:

Pursuant to Section 10-1.1101 of the Redondo Beach Municipal Code the adjustment of property lines may be permitted when such change can be shown to be in the best interest of the public health, safety and welfare and when such adjustment will result in boundary lines, which allows properties to be developed according to the property standards for that zone.

In order for the adjusted parcels to be conforming under the zoning ordinance, the parcels must comply with the lot standards set forth in the zoning ordinance. These standards are as follows 1) parcel dimensions and area shall be consistent with the neighborhood; 2) have a minimum lot depth of 100 feet, and 3) have 40 foot lot widths where the prevailing lot width is 40 feet.

Based upon Assessor's data, the average lot size within the immediate vicinity of the project is approximately 6,569 square feet. The lot line adjustment proposal as shown in Exhibit A would move the property line 10 feet to the west, thereby increasing the size of Lot 21 from 6,038 square feet to 6,443 square feet and decreasing the size of Lot 26 from 6,818 square feet to 6,413 square feet. The resulting lot square footages are consistent with other parcels in the neighborhood.

With respect to the proposed lot depth, Parcel 1 will have an average depth of 161 feet and Parcel 2 will have an average depth of 160 feet. Current depths are approximately 151 feet and 170 feet, respectively. In both cases, the lots meet the minimum 100-foot lot depth and, after the adjustment, will almost be equal.

Parcel 1 has a lot width of 40.24 feet and Parcel 2 has a lot width of 40.79 feet. The lot widths will remain unchanged, but are consistent with the prevailing lot width of 40 feet. Likewise, both parcels will continue to have public street access.

This request brings the two properties into conformance with their original configurations as well as the municipal code. The adjustments are designed to have the least amount of impact to all properties involved. Factors taken into consideration were maintaining

functional parcel shape, size, and orientation to be properly developed under the zoning code. All adjustments occur to interior property lines shared between properties and no alterations occur to front property lines or street accessibility. Each of the adjusted lots is and will continue to be fully capable of accommodating low-density multi-family residential development consistent with all development in the R-3 zone.

ENVIRONMENTAL STATUS:

The proposed Lot Line Adjustment is Categorically Exempt from further environmental analysis, pursuant to Section 15315 of the Guidelines to the California Environmental Quality Act (CEQA).

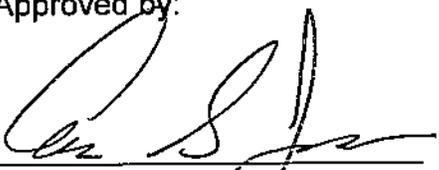
FINDINGS:

1. That the proposed lot line adjustment conforms to the City of Redondo Beach zoning, building and engineering ordinances and is consistent with the Comprehensive General Plan.
2. The Planning Commission hereby finds that the lot line adjustment is in the best interest of the public health, safety, and welfare since the adjustment will result in new boundary lines which provide code-conforming parcels consistent with all property development standards, and consistent with prevailing neighborhood lot size and shape.
3. The project is Categorically Exempt from the preparation of environmental documents, pursuant to Section 15315 of the Guidelines of the California Environmental Quality Act (CEQA).
4. The Planning Commission hereby finds that the proposed project will have no effect on fish and game resources pursuant to Section 21089(b) of the Public Resources Code.

Prepared by:


Stacey Kinsella
Associate Planner

Approved by:


Aaron Jones
Community Development Director



CITY OF REDONDO BEACH

EXEMPTION DECLARATION PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

DATE: October 15, 2015

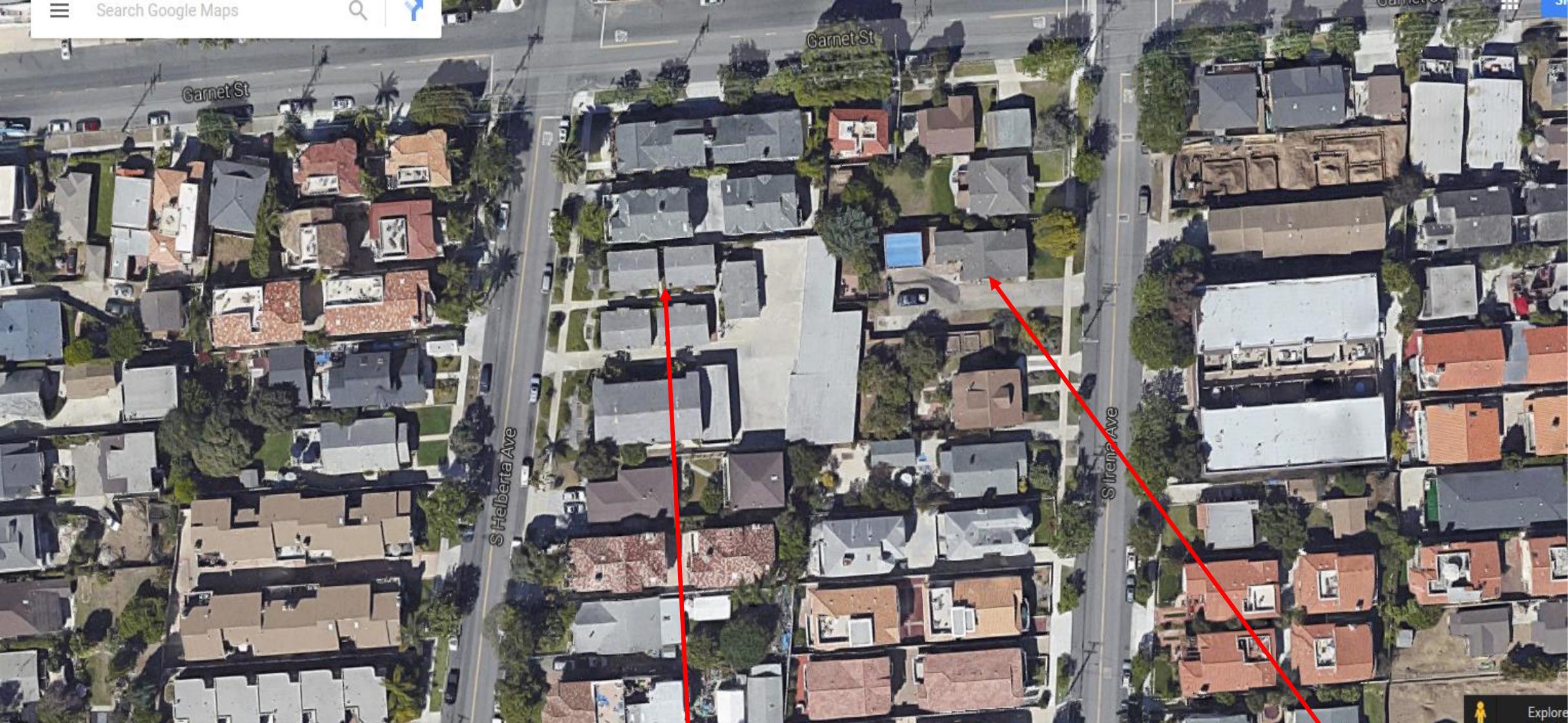
PROJECT ADDRESS: 204 S. Helberta Avenue & 205 S. Irena Avenue

PROPOSED PROJECT: Consideration of an Exemption Declaration, and Lot Line Adjustment to adjust the property line between two properties, on properties located within a Low Density Multi-Family Residential (R-3) zone.

In accordance with Chapter 3, Title 10, Section 10-3.301(a) of the Redondo Beach Municipal Code, the above-referenced project is Categorical Exempt from the preparation of environmental review documents pursuant to:

Section 15315 of the Guidelines for Implementation of the California Environmental Quality Act (CEQA), which states, in part, that the division of property in urbanized areas zoned for residential, commercial or industrial use into four or fewer parcels when division is in conformance with the General Plan and zoning; no variances or exceptions are required; all services and access are provided; does not have an impact on the environment. This finding is supported by the fact that the proposed lot line adjustment between the two parcels will not result in new parcels, and comply with the General Plan and zoning ordinance.

Stacey Kinsella
Associate Planner

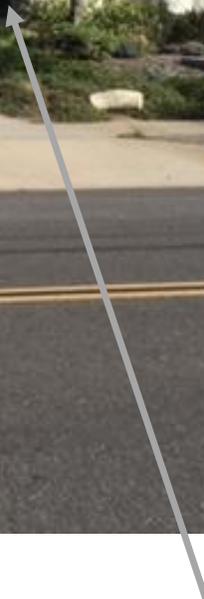


204 South Helberta Avenue

205 South Irena Avenue



204 South Helberta Avenue



Property to the South/Right – 210 S. Helberta



View of Multi-Units to the South



Property to the North/Left – 202 S. Helberta



205 South Irena Avenue



Property to the North/Right – 203 S. Irena



Existing driveway to rear garage

Property to the South/Left – 211 S. Irena

**CITY OF REDONDO BEACH
PLANNING DIVISION**

RECEIVED BY: SK
DATE RECEIVED: 9/14/15

APPLICATION FOR LOT LINE ADJUSTMENT

Application is hereby made to the Planning Commission of the City of Redondo Beach, pursuant to the provisions of, Title 10 of the Redondo Beach Municipal Code, for a public hearing for a Lot Line adjustments(s) on the property described below.

PART I - GENERAL INFORMATION

A	APPLICANT INFORMATION	
	STREET ADDRESS OF PROPERTY: 204 S. HELBERTA and 205 S. IRENA	
	EXACT LEGAL DESCRIPTION OF THE PROPERTY: LOT: 26 & 21 BLOCK: 100 TRACT: Redondo Beach Tract	ZONING: R-3
	RECORDED OWNER'S NAME: Lot 26=204 S.Helberta, LLC attn: Dennis Cleland PO Box 969, Manhattan Beach, CA 90266 Lot 21=Evgeny Kernes c/o Victor Goll 707 S. Juanita, RB CA 90277 MAILING ADDRESS: (MAIN APPLICANT) Dennis Cleland PO Boxd 969, MB CA 90266 TELEPHONE: 310/310-748-0062 (C) 310/374-7050 (O)	AUTHORIZED AGENT'S NAME: Srour & Associates, LLC Attn: Elizabeth Srour MAILING ADDRESS: 1001 - 6 th Street #110 Manhattan Beach, CA 90266 TELEPHONE: 310/372-8433
B	SHOWINGS: <i>It shall be shown that the following circumstances are found to apply. Give full and complete answers</i>	
	1. Indicate the present use of the property and buildings thereon (if any) and the expectable future use of the parcel or parcels which would be altered by the proposed Lot Line Adjustment: The subject property consists of two adjacent, originally subdivided lots. At some point in the past, the 204 lot (26) was expanded to include the rear 10' from the adjacent lot at 205 S. Irena (lot 21). The purpose of the Lot Line Adjustment application is to realign lot 21 into the original length of (approximately) 161'. Realignment of the two lots will not result in any nonconforming aspects related to lot size or configuration and both will comply with all applicable zoning provisions. All existing structures will be demolished on both properties and new construction will provide a new two unit condominium development on each separate lot.	

CID 04609

20152356

2. Indicate how the proposed adjusted parcel or parcels will front on, or have adequate access to a public street (not alley) of adequate width to carry the quantity and kind of traffic generated by the uses allowed in the land use district in which they are located:

Each lot is located on a fully improved public street and will provide adequate visibility, driveway access and turn-around to allow vehicles to safely enter and exit proposed driveway and parking areas. Location of the proposed driveway locations for each lot will not result in any change to traffic patterns or pedestrian access.

3. Indicate how the proposed Lot Line Adjustment will not be detrimental to the surrounding lot pattern and will not create lots smaller than the prevailing lot size in the area where they would be located:

The Lot Realignment and subsequent subdivision process will restore each lot to its originally subdivided configuration . This realignment will not result in any nonconforming aspects related to lot size or configuration for any of the affected lots.

4. Indicate how the revision of the proposed parcel(s) would be in conformance with the intent and purpose of the Comprehensive General Plan for the City of Redondo Beach;

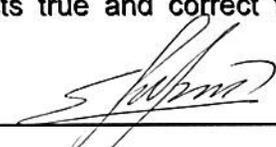
Each realigned lots will be restored to its respective lot configuration which is a standard configuration for the surrounding area. The R-3 zoning allows two residential units on each of the realigned lots. The overall proposal conforms to all development standards for condominium use as well as zoning requirements and is totally in keeping with the surrounding neighborhood and potential future development throughout the area.

OWNER'S AFFIDAVIT

Project address: 205 S. Irena (and 204 S. Helberta)

Project description: realign lots to original configuration and deed easterly 10' of Lot 26 (204 S. Helberta) back to Lot 21 (Lot 21-205 S. Irena)

I (We) EVGENY KERNES, Owner of Lot 21 at 205 S. Irena, being duly sworn, depose and say I am (we are) the owner(s) of all or part of the property involved and that this application has been prepared in compliance with the requirements printed herein. I (we) further certify, under penalty of perjury that the foregoing statements and information presented herein are in all respects true and correct to the best of my (our) knowledge and belief.

Signature(s): 

EK

Address: c/o Victor Goll
707 S. Juanita Ave.

Redondo Beach, CA 90277

Phone No. (Res.) (818)903-7012

(Bus.) _____

Subscribed and sworn to (or affirmed) before me this _____ day of _____, 20____

by _____, proved to me on the basis of satisfactory

evidence to be the person(s) who appeared before me.

See attached

FILING CLERK OR NOTARY PUBLIC

State of California)
County of Los Angeles)

ss

Seal

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA)

COUNTY OF LOS ANGELES)

Subscribed and sworn to or affirmed) before me on this, 1st day of September, 2015 ., by Evengy Kernea, who proved to me on the basis of satisfactory evidence to be the person who appeared before me.

Elizabeth C. Srou
(Signature of Notary)

(Seal)



OWNER'S AFFIDAVIT

Project address: 205 S. Irena (and 204 S. Helberta)

Project description: realign lots to original configuration and deed easterly 10' of Lot 26 (204 S. Helberta) back to Lot 21 (Lot 21-205 S. Irena)

I (We) DENNIS CLELAND, on behalf of 204 S. Helberta, LLC, Owner of Lot 26 at 204 S. Helberta, being duly sworn, depose and say I am (we are) the owner(s) of all or part of the property involved and that this application has been prepared in compliance with the requirements printed herein. I (we) further certify, under penalty of perjury that the foregoing statements and information presented herein are in all respects true and correct to the best of my (our) knowledge and belief.

Signature(s): 

DENNIS CLELAND

Address: P.O.Box 969, Manhattan Beach, CA 90266

Phone No. (Res.) _____

(Bus.) 310/374-9050

Subscribed and sworn to (or affirmed) before me this 9th day of Sept., 2015

by _____, proved to me on the basis of satisfactory

evidence to be the person(s) who appeared before me.

FILING CLERK OR NOTARY PUBLIC

State of California)
County of Los Angeles) ss

Seal

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA)

COUNTY OF LOS ANGELES)

Subscribed and sworn to or affirmed) before me on this, 9th day of September, 2015 ., by Dennis Cleland who proved to me on the basis of satisfactory evidence to be the person who appeared before me.



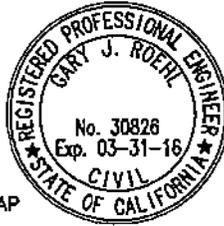
(Signature of Notary)



(Seal)

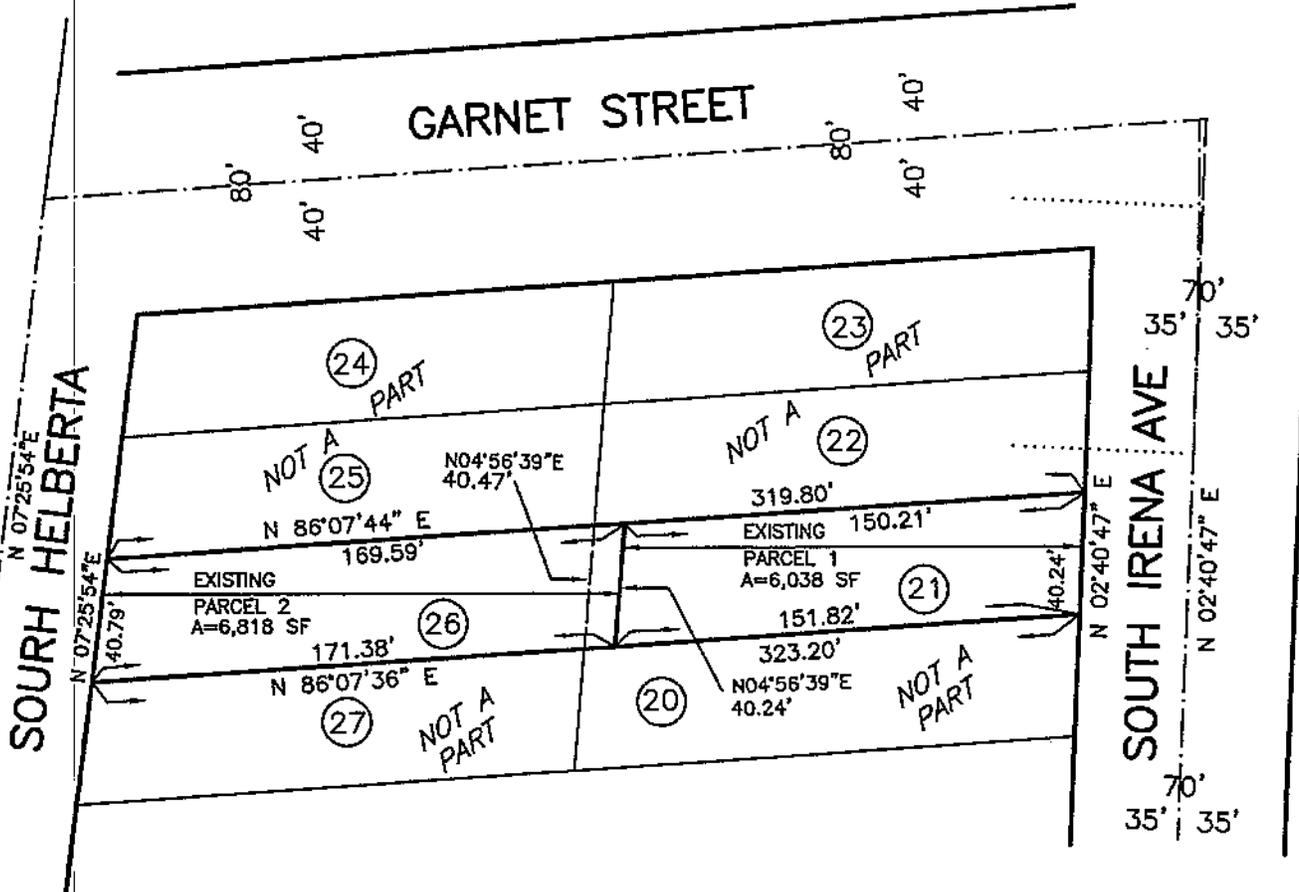
EXHIBIT A

EXISTING PARCELS 1&2



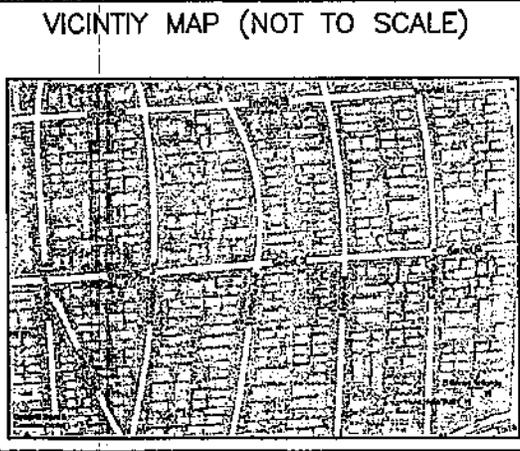
THIS MAP PREPARED BY:
Gary J. Roehl
 GARY J. ROEHL DATE
 RCE 30826, EXP 3/31/2016
 DENN ENGINEERS
 3914 DEL AMO BLVD., STE 921
 TORRANCE, CA 90503

NOTES:
 THIS LEGAL DESCRIPTION SHALL NOT BE USED FOR THE DIVISION
 AND/OR CONVEYANCE OF LAND IN VIOLATION OF THE SUBDIVISION MAP
 ACT OF THE STATE OF CALIFORNIA.



AREAS	
EXISTING PARCELS:	PROPOSED PARCELS:
PARCEL 1 = 6,038 S.F.	PARCEL 1 = 6,443 S.F.
PARCEL 2 = 6,818 S.F.	PARCEL 2 = 6,413 S.F.

OWNERSHIP	
205 SOUTH IRENA AVENUE:	EVGENY KERNES
204 SOUTH HELBERTA AVENUE:	204 S HELBERTA LLC



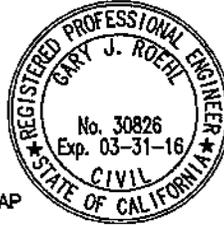
CITY OF REDONDO BEACH
 PUBLIC WORKS DEPARTMENT
 ENGINEERING SERVICES DIVISION

MAP SHOWING LOT LINE ADJUSTMENT ON
 204 SOUTH HELBERTA AVENUE & 205 SOUTH IRENA AVENUE
 LOTS 21 AND 26, BLOCK 100, TOWNSITE OF REDONDO BEACH,
 COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

SUBMITTED BY:		REFERENCE: TOWNSITE OF REDONDO BEACH		SCALE: 1"=60'
APPROVED BY:	DATE:	DESIGNED BY:	DRAWN BY:	
		CHECKED BY:		
				SHEET 1 OF 2

EXHIBIT A

PROPOSED PARCELS 1&2

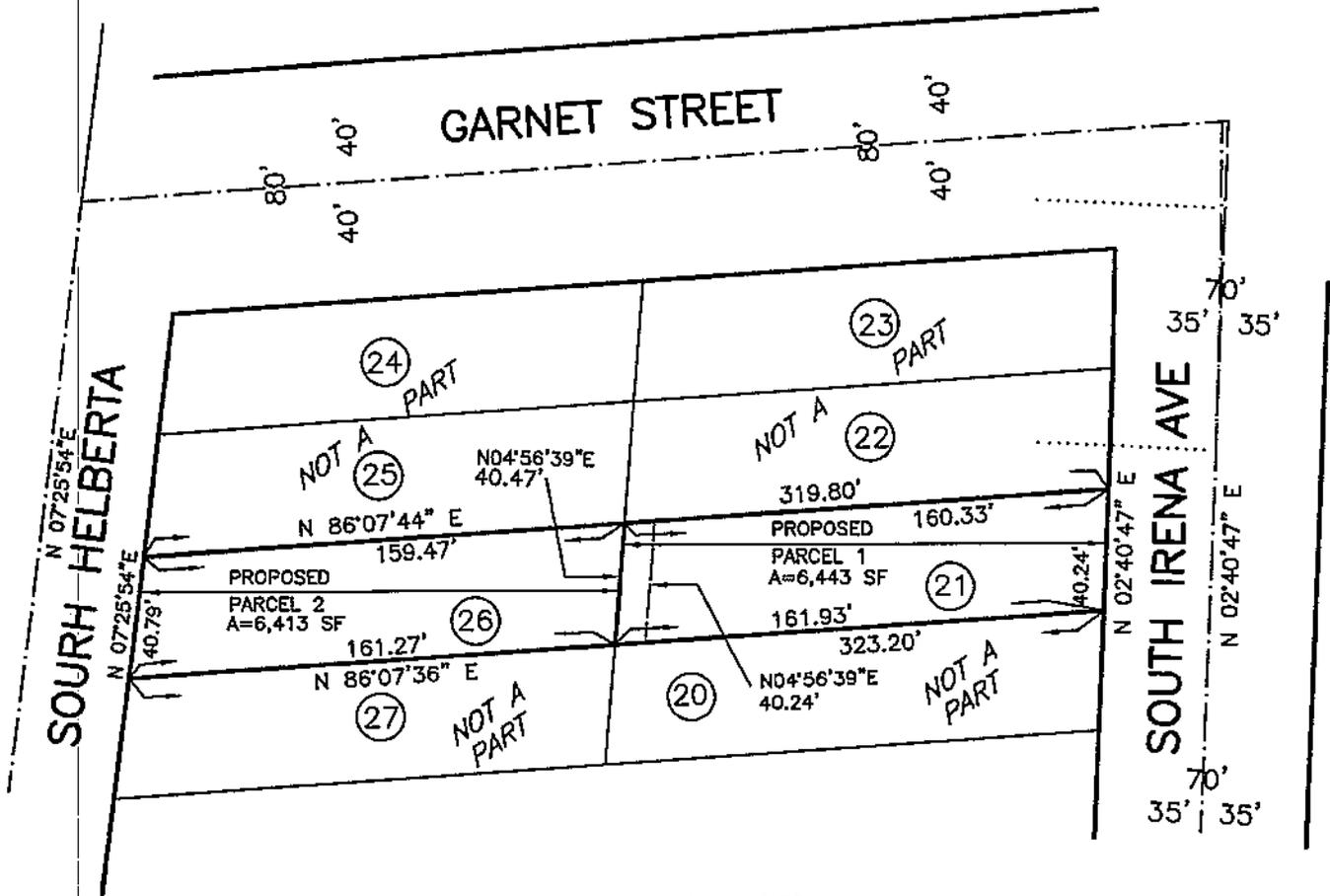


THIS MAP PREPARED BY:

Gary J. Roehl

GARY J. ROEHL DATE
RCE 30826, EXP 3/31/2016
DENN ENGINEERS
3914 DEL AMO BLVD., STE 921
TORRANCE, CA 90503

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AND/OR CONVEYANCE OF LAND IN VIOLATION OF THE SUBDIVISION MAP
ACT OF THE STATE OF CALIFORNIA



AREAS

EXISTING PARCELS:	PROPOSED PARCELS:
PARCEL 1 = 6,038 S.F.	PARCEL 1 = 6,443 S.F.
PARCEL 2 = 6,818 S.F.	PARCEL 2 = 6,413 S.F.

OWNERSHIP

205 SOUTH IRENA AVENUE:
EVGENY KERNES

204 SOUTH HELBERTA AVENUE:
204 S HELBERTA LLC

VICINITY MAP (NOT TO SCALE)



CITY OF REDONDO BEACH
PUBLIC WORKS DEPARTMENT
ENGINEERING SERVICES DIVISION

MAP SHOWING LOT LINE ADJUSTMENT ON
204 SOUTH HELBERTA AVENUE & 205 SOUTH IRENA AVENUE
LOTS 21 AND 26, BLOCK 100, TOWNSITE OF REDONDO BEACH,
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

SUBMITTED BY:		REFERENCE: TOWNSITE OF REDONDO BEACH		SCALE: 1"=60'
APPROVED BY:	DATE:	DESIGNED BY:	DRAWN BY:	
		CHECKED BY:		SHEET 2 OF 2

EXHIBIT "B"
EXISTING LEGAL DESCRIPTIONS
FOR LOT LINE ADJUSTMENT

204 SOUTH HELBERTA AVENUE & 205 SOUTH IRENA AVENUE

PARCEL 1: (A.P.N. 7506-012-026)

LOT 21, BLOCK 100, TOWNSITE OF REDONDO BEACH, IN THE CITY OF REDONDO BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 39 PAGES 1 THROUGH 17, INCLUSIVE, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; EXCEPTING THEREFROM THE WESTERLY 10 FEET THEREOF.

CONTAINING 6,038 SQUARE FEET, MORE OR LESS.

PARCEL 2: (A.P.N. 7506-012-027)

LOT 26 AND THE WESTERLY 10 FEET OF LOT 21, BLOCK 100, TOWNSITE OF REDONDO BEACH, IN THE CITY OF REDONDO BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 39 PAGES 1 THROUGH 17, INCLUSIVE, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

CONTAINING 6,818 SQUARE FEET, MORE OR LESS.



Administrative Report

Planning Commission Hearing Date:

October 15, 2015

AGENDA ITEM: 10 (Public Hearing)

PROJECT LOCATION: 320 KNOB HILL AVENUE

APPLICATION TYPE: FINAL ENVIRONMENTAL IMPACT REPORT (SCH# 2013121065 / FILE NO. 2015-04-EIR-001) AND A MITIGATION MONITORING AND REPORTING PROGRAM; AMENDMENTS TO THE GENERAL PLAN, COASTAL LAND USE PLAN, COASTAL ZONING ORDINANCE; CONDITIONAL USE PERMIT, PLANNING COMMISSION DESIGN REVIEW, COASTAL DEVELOPMENT PERMIT, AND VESTING TENTATIVE PARCEL MAP NO. 72314

CASE NUMBER: 2015-10-PC-018

APPLICANT'S NAME: FOUNTAIN SQUARE DEVELOPMENT WEST LLC
and REDONDO BEACH UNIFIED SCHOOL DISTRICT

APPLICANT'S REQUEST AS ADVERTISED:

Consideration of a Final Environmental Impact Report (SCH# 2013121065), Amendments to the General Plan, Coastal Land Use Plan and Coastal Zoning Ordinance, a Conditional Use Permit, Planning Commission Design Review, Coastal Development Permit, and Vesting Tentative Parcel Map No. 72314, for a project that consists of the demolition of nine of the ten existing structures; the construction and operation of a two-story building totaling approximately 80,000 gross square feet containing a 96-suite assisted living facility (Residential Care for the Elderly) accommodating up to 130 people; and the reuse/rehabilitation of an existing one-story 2,600 square foot building located at the northwestern corner of the site, which may potentially become available for a community use, on property at 320 Knob Hill Avenue on property located within the Public Community Facility (P-CF) Zone.

The approval of the project is contingent on the approval of the General Plan, Coastal Land Use Plan and Coastal Zoning Amendments to conditionally allow residential care facilities for the elderly on the subject property by the City Council. Thereafter, the Local Coastal Program and General Plan amendments must be approved by the California Coastal Commission. The proposed project, land use and zoning amendments must also be approved by a majority of the City of Redondo Beach voters at a future election.

DEPARTMENT'S RECOMMENDATION:

It is recommended that the Planning Commission open the public hearing, take public testimony, and adopt the following resolutions by title only, waiving further reading:

- a. A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH RECOMMENDING THAT THE CITY COUNCIL CERTIFY FINAL ENVIRONMENTAL IMPACT REPORT (SCH# 2013121065) FOR THE KENSINGTON ASSISTED LIVING FACILITY ON PROPERTY LOCATED WITHIN THE PUBLIC COMMUNITY FACILITY (P-CF) ZONE AT 320 KNOB HILL AVENUE; AND
- b. A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH RECOMMENDING THAT THE REDONDO BEACH CITY COUNCIL APPROVE AN AMENDMENT TO THE GENERAL PLAN AS IT RELATES TO POLICIES 1.2.3, 1.2.4, AND 1.46.1 AND OBJECTIVE 1.46 AND AN AMENDMENT TO THE COASTAL LAND USE PLAN AS IT RELATES TO SUBSECTION C AND D OF SECTION VI; AND
- c. A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH RECOMMENDING THE REDONDO BEACH CITY COUNCIL APPROVE AN AMENDMENT TO THE COASTAL LAND USE PLAN IMPLEMENTING ORDINANCE (TITLE 10, CHAPTER 5 OF THE REDONDO BEACH MUNICIPAL CODE) AS IT RELATES TO SECTIONS 10-5.110 AND 10-5.1624; AND
- d. A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH RECOMMENDING APPROVAL OF A CONDITIONAL USE PERMIT, PLANNING COMMISSION DESIGN REVIEW, COASTAL DEVELOPMENT PERMIT, AND VESTING TENTATIVE PARCEL MAP NO. 72314 FOR THE KENSINGTON ASSISTED LIVING FACILITY ON PROPERTY LOCATED WITHIN THE PUBLIC COMMUNITY FACILITY (P-CF) ZONE AT 320 KNOB HILL AVENUE.

EXECUTIVE SUMMARY

Project developer, Fountain Square Development West, is requesting approval to demolish nine (9) of the ten (10) existing structures located on the subject property, which is under lease from the Redondo Beach Union School District (RBUSD); construct a two-story, thirty-three (33) foot high, 80,000 square foot Residential Care Facility for the Elderly (RCFE) with 96 residential suites to accommodate up to 130 seniors and persons with disabilities such as Alzheimer's and other memory impairments; and to preserve and re-use/re-purpose the existing 'Kindergarten' building. The proposed project requires the approval of text amendments to the General Plan (Land Use Element), Coastal Land Use

Plan, and Coastal Zoning Ordinance since the current land use and zoning designations do not permit RCFEs to operate on properties located within the coastal zone. The proposed text amendments provide the legislative framework that would allow for the development of a RCFE within the Coastal Zone on properties zoned Public-Community Facility (P-CF) that are over one (1) acre in size.

The approval of a Conditional Use Permit, Planning Commission Design Review, Coastal Development Permit, and Tentative Vesting Parcel Map are contingent upon the City Council's approval of the proposed amendments to the General Plan, Coastal Land Use Plan and Coastal Land Use Plan Implementing Ordinance (Coastal Zoning Ordinance) to conditionally allow RCFEs on the subject property. Thereafter, subject to City Council approval, the General Plan and Coastal Land Use Plan, and Coastal Zoning Ordinance amendments must be approved by the California Coastal Commission. Lastly, the proposed project must be approved by the City of Redondo Beach residents via a public election held pursuant to the requirements of Article 27 of the City Charter.

Together, the requested discretionary actions constitute a project that is subject to review under the California Environmental Quality Act (CEQA). The Final Environmental Impact Report (FEIR) and Mitigation Monitoring and Reporting Program (MMRP) identifies significant but mitigatable impacts associated with cultural resources and greenhouse gas emissions; all other impacts were determined to be less than significant. The Volume 3 of the FEIR includes copies of all comments received on the Draft EIR, the 'Responses to Comments' (RTC) and a MMRP.

The applications, conceptual plans and drawings provide the basic parameters for this project. Supplemental information is provided in the form of technical studies and background reports that were prepared as part of the environmental review process associated with the proposed project.

I. BACKGROUND INFORMATION:

The project site is an irregular-shaped parcel bounded by Knob Hill Avenue to the north, Pacific Coast Highway to the east, Avenue A to the south, and single-family residents directly adjacent to the west, both on Knob Hill Avenue and Avenue A. The site consists of twenty (20) contiguous lots that total approximately 3.37 acres. It is developed with ten (10) single-story structures that have an approximate total of 23,242 gross square feet (GSF). The ten (10) structures include offices, a multi-purpose room and six (6) classroom buildings, all of which are situated on the west side of the site. There is an on-site surface parking lot located at the northeast corner of the site with approximately 75 parking spaces. The parking lot is accessible via a driveway off of Knob Hill. An open hardscape area located at the southeast corner of the lot includes a slide, swings, handball, and other multi-use courts.

The subject property is owned by the Redondo Beach Unified School District (RBUSD), which purchased it in 1907. In 1929, the School District bought the adjacent lot to the west on Knob Hill and built a 2,600 SF Spanish Colonial Revival structure on it. The 1929 'Kindergarten Building' as it is referred to, is the only structure on the site that survived the March 10, 1933 earthquake. The other nine (9) buildings were constructed between 1957 and 1962. Originally known as the 'South School' (an elementary school) the site later became known as 'Patterson School'. The RBUSD declared the site a surplus school property in 1983. According to the California Department of Education the site is no longer economically viable since it does not meet the minimum standards for an elementary school site. (The minimum size for an elementary school site is five acres plus an additional acre per 100 students of predicted ultimate enrollment.) Thereafter, the site was occupied in part by a private school, known as Carden Dominion School, in part by the CSU Dominguez Hills and by the City of Redondo Beach, Recreation and Community Services Department.

The site is currently occupied by the Los Angeles County Office of Education (LACOE) for administrative offices and special education services. More specifically, the site is part of Los Angeles County's Southwest Special Education Local Plan Area (SELPA) which operates a 45-day special class on a rotating basis with approximately 40 students. There are approximately 47 teachers plus additional instructional aides on an as needed basis. Special events and meetings are held on site two to three times a week with attendance varying between 20 to 120 participants with an average of 50 participants.

The project site is predominantly surrounded by single-family and multi-family residential development north across the street on Knob Hill Avenue, directly adjacent to the west and south across the street on Avenue A. Commercial developments are located properties north, east and south of the site fronting onto Pacific Coast Highway .

Surrounding Land Uses

Direction	Exiting General Designation	Plan	Existing Zoning District	Current Use
Project Site	P Public or Institutional		Community Facility (P-CF)	School Related
North	R-2 Low Density Multi-Family Residential, C-2 Commercial		Low Density Multi-Family Residential (R-2), Commercial (C-2)	Multi-Family Residential, Commercial
South	R-1 Single-Family Residential, C-2 Commercial		Single-Family (R-1), Commercial (C-2)	Single-Family Residential, Commercial
East	C-2 Commercial		Commercial (C-2)	Commercial
West	R-1 Single-Family Residential		Single-Family (R-1)	Single-Family Residential

II. PROJECT DESCRIPTION

The applicant is requesting approval to demolish nine (9) of the ten (10) existing structures, to construct a two-story, 80,000 square foot RCFE with 96 residential suites for up to 130 individuals, with the required parking facilities, outdoor living areas, landscape areas, and signage, and to re-use/rehabilitate/re-purpose one structure (known as the Kindergarten Building) that has been identified as a potential historical resource.

Site Plan/Access/Circulation

The project site is an irregular-shaped parcel with approximately 506.42 feet of frontage on Knob Hill, 307.7 feet on Pacific Coast Highway, 416.03 feet on Ave A, 182.41 feet along the northerly portion of the west property line, and 154.79 feet along the southerly portion of west property line for a total west property line that is 337.11 feet in length. The size of the site is 146,858 square feet (SF) or 3.37 acres. The site will be reduced in size to 143,777 SF (3.30 acres) after the dedication of ten (10) feet of land across the Pacific Coast Highway frontage to the City, which is required for the future widening of Pacific Coast Highway to a required design width of 100 feet.

The new site plan includes closing the existing driveway currently providing access on and from Knob Hill, and constructing a new one on Knob Hill, 30 feet in width, approximately 180 feet west of the existing driveway. The new driveway will be located directly across from the intersection of Knob Hill Avenue and Elvira Avenue. It will serve as the primary vehicular access to the site. A 25-foot wide secondary, emergency only access, consisting of a rolled curb, turf blocks, and removable bollards, is to be located approximately 55 feet west of the new main driveway. This secondary, emergency only access is located in direct alignment with north/south 25-foot drive aisle that runs west of the new structure.

A smaller driveway, 25 feet in width, will be provided on Avenue A, approximately 35 feet east of the westerly property line on the southerly portion of the site. The driveway on Avenue A will be gated with limited access to fire trucks, delivery vehicles and solid waste vehicles only. It will serve as an ingress only, with no exiting back onto Avenue A. Therefore, the fire trucks, delivery and solid waste vehicles will exit the site onto Knob Hill.

The project includes the provision of 70 parking spaces in a surface lot that wraps around the west, north and east side of the proposed structure. The driveway leads to a circular drop-off area directly in front of the main entrance to the new facility. The parking spaces are to be nine (9) feet in width and 19 feet in length, with 25-foot drive aisles, and two drop-off areas; one at the main entrance which fronts on Pacific Coast Highway and a secondary drop-off area on the west side of the structure. Additionally, the project will include bike racks with a total capacity for 28 bicycles divided among four (4) locations;

at the main entrance to the facility, at the secondary entrance on the west side of the structure, in front of the Kindergarten Building on Knob Hill Avenue, and in the staff patio on the south side of the facility.

A pedestrian pathway is provided from the public sidewalk on Knob Hill to the 1929 Kindergarten Building. That pathway continues around the east side of the building and leads to the small outdoor gathering area south of the building. Another pedestrian pathway is located directly east of the 25 foot wide driveway on Avenue A. starting at the public sidewalk that runs north along the west side of the new facility building leading to the secondary building entrance and then continues around the north side and then ultimately along the east side leading to the main entrance.

The H-shaped facility building occupies the most southeasterly corner of the site. The main entrance is located on the east side of the site facing Pacific Coast Highway. A secondary entrance is located on the west side of the structure where access is gained through a secured courtyard. The secured courtyard, which is framed by the west-facing u-shape of the building, is accessible from the 'Assisted Living' portion of the structure. In addition, there is smaller secured garden on the south side of the site.

The one-story 1929 Kindergarten Building located on Knob Hill adjacent to the westerly property line has been identified in the Historical Resource Report, as a potential historic resource (see Appendix D of the FEIR) . As such, it is to be rehabilitated for re-use as a community space.

The location of the outdoor gathering spaces and the perimeter of the site as a whole will be established by the construction of walls of differing heights and materials.

The Assisted Living Facility/Residential Care Facility for the Elderly (RCFE)

The proposed facility consists of a two-story, H-shaped structure, approximately 80,000 square feet (SF) in size with an average maximum height of approximately 33'-0" to the top of the mansard roofline. The facility is designed to accommodate 96 suites, common living and social areas, facility service and operational areas, offices, a kitchen, dining rooms, living rooms, activity rooms, a media room, a physical therapy room and a salon.

Of the total 96 suites, 89 suites are designed for single occupancy and range in size from approximately 350 to 625 SF. Seven (7) suites designed specifically for couples, range in size from 600 to 1,200 SF and include full kitchens. Each suite consists of a bedroom area, sitting area, and bathroom.

The first floor consists of 42 suites and 5,900 square feet of common space including; dining rooms, a library, activity room, living rooms, spa, café, lobby area and office space for staff, the kitchen and laundry facilities. Twelve (12) of the suites are located in the westerly portion of the south wing, referred to as the 'Haven' Memory Care Wing, where individuals with the most severe level of cognitive impairment will be housed. The other

30 suites are located in the 'Assisted Living' portion of the structure where individuals with little to no cognitive impairment will be housed.

The second floor consists of 54 suites and 4,920 square feet of common space including; dining areas, a living room, activity rooms, a media room, spa, salon, and a doctor's office. Twenty-six (26) of the suites are located in the south wing, referred to as the 'Connections' Memory Care Wing where individuals with mild to medium levels of cognitive impairment will reside. The other 28 suites are to be located in the 'Assisted Living' portion of the structure, where individuals with little to no cognitive impairment will reside.

Architecturally, the proposed building design is based on elements of the Spanish Revival, Mission, and Santa Barbara architectural styles including a terra cotta tile roof with exposed eave rafters, corbels, decorative columns, wrought-iron railings, decorative tile accents, wood shutters, awnings with wrought-iron accents, and wooden trellises. The roofline is highly articulated consisting of a combination of gable and hipped roof styles. The building footprint and façade are similarly articulated with numerous building jogs and offsets occurring on all sides of the structure. Several towers serve as focal points. Projecting roof elements supported by columns and arched wall segments at the ground level create shaded patios and arcades while providing an additional visual element that breaks up the two-story façade.

The proposed exterior materials, finishes and colors are as follows:

- A reddish-brown Spanish tile roof;
- Stucco walls with a primary field color of white with stucco accents in a very light taupe color;
- Windows shutters in a deep rust-colored brown;
- Fabric window awnings in a dark navy blue color;
- Cast concrete sills, lintels and window surrounds also in a light taupe color;
- Cast concrete columns
- Vinyl window trim in a warm medium brown;
- Wrought iron elements in a very dark brown color; and ceramic tile accents in a terra cotta color.

Operation of the Assisted Living Facility (RCFE)

The proposed facility will be licensed as a RCFE by the California Department of Social Services and will provide assistance with 'Activities of Daily Living' (ADLs) to its residents, many whom will be 75 years of age or older. A portion of the facility is designed to accommodate residents with cognitive impairment due to illnesses or conditions that cause dementia (i.e. Alzheimer's disease, Vascular Dementia, etc.). In order to provide the appropriate level of care to all residents, their housing accommodations will be organized into three (3) distinct sections or 'neighborhoods' as referred to by the applicant, as follows:

- 'Assisted Living' – 58 suites will be designated for residents that require assistance but have little to no cognitive impairment;
- 'Connections'- 26 suites will be designated for residents with mild to moderate cognitive impairment; and
- 'Haven'- 12 suites will be designated for residents with severe cognitive impairment

The RCFE will operate 24 hours a day, year round. It is anticipated that the facility will be staffed by 110 part- and full-time employees over several shifts during the daytime hours of 5:00 A.M. to 11 P.M. Approximately 44 staff members will work during the time period between 12:00 noon and 1:00 p.m., which is the busiest time of the day. The evening shift, between the hours of 11:00 P.M. and 5:00 A.M., will have a maximum of seven (7) staff members.

The proposed project provides one (1) parking space for every three (3) beds, which is equivalent 44 parking spaces. However, the Planning Division staff requested the applicant provide additional parking for the employees at a rate of one (1) parking space, which is equivalent to 22 parking spaces for total of 66 on-site parking spaces. The project exceeds this combined requirement with a total of 70 parking spaces provided.

The '1929 Kindergarten Building'

The 2,600 SF Kindergarten Building, located on Knob Hill Avenue at the northwest corner of the site, was constructed in approximately 1929. It is representative of the Spanish Colonial Revival style of architecture. It is one of the last remaining single-classroom buildings from the City's earliest development period exemplifying a special element of the City's cultural and social history. Although the structure was rehabilitated in 1955 to repair some brickwork and add gunite to the exterior surface, the alteration does not detract from the building's history with the early development of educational institutions in Redondo Beach.

A '*Historical Resource Report*', prepared by GPA Consulting, December 20, 2014 (Appendix D) determined that the Kindergarten Building meets the criteria as a "historical resource" for the purposes of CEQA. It also determined that the building appears eligible for listing in the National Register at the local level under Criterion A, for the California Register under Criterion 1, or for designation as a City of Redondo Beach Landmark for its association with the early educational development of Redondo Beach. The designation of this structure as a local landmark is not part of this project. However, the applicants/property owners may wish to pursue this in the future so as to gain the benefits associated with a landmark designation.

In the meantime, any proposed alterations to the exterior of the structure, outside of normal repair or maintenance could affect the historic value of the structure. Therefore, a mitigation measure has been incorporated into the Mitigation Monitoring and reporting Program as follows that mitigates the potential impact to 'less than significant':

Prior to issuance of building permits for the Kindergarten building, the applicant shall submit renovation/rehabilitation plans for the existing Kindergarten building showing compliance with the Secretary of the Interior's Standards for Treatment of Historic Properties and the associated Guidelines. These plans shall be submitted for review and approval by the City of Redondo Beach Preservation Commission pursuant to Redondo Beach Municipal Code Section 10-4.501.

Outdoor Gathering Spaces

The project includes a total of 17,808 square feet of outdoor space that is provided in a variety of locations and settings. The largest, is a secure outdoor space located in a courtyard that is framed by the west-facing u-shaped portion of the structure. That space is approximately 9,053 SF in size and consists of curved pedestrian pathways, shade structures, a seating area under a covered porch, raised planters, a variety of plantings including some mature shade trees and garden art. A smaller secured outdoor space is located on the south side of the building that is accessible from a dining room and activity room in the 'Haven' Memory Care Wing. It is similarly designed with a variety of hardscape and landscape elements. Other outdoor spaces include a small staff patio on the south side and another outdoor patio at the southeast corner of the site. Additionally, there is a small unsecured outdoor gathering space about 4,000 SF in size that is to be located south of the 1929 Kindergarten Building.

Landscape

Approximately 35% of the entire site will be landscaped. The conceptual landscape plans incorporate an appropriate variety of plantings ranging from groundcovers, to shrubs and vines, to a menu of six categories of trees including selections for vertical screening, trees for the parking lot, the driveways, citrus trees, flowering trees and other specimen trees. Projecting landscape fingers that are located between every five (5) or six (6) parking spaces will be planted with a variety of shade trees. The plans indicate that the size of the trees will be either 24" box or 36" box, which will create a fairly mature looking horticultural environment within several years.

The City's parkway adjacent to the project site on Knob Hill Avenue is planted with ten (10) mature King Palm trees (*Archontophoenix*) and two (2) Red Flowering Gum Trees (*Corymbia ficifolia*) currently located on either side of the existing driveway. The trees are all 30 – 35 feet plus in height. The proposed landscape plans indicate that these trees are to be protected in place.

There are fewer trees of varying heights planted in the parkway adjacent to the project site on Avenue A; six (6) Mexican Fan Palm trees (*Washingtonia robusta*) of which three (3) are in the range of 45-60 feet in height, and three (3) that are in the range of 15-20 feet in height and one (1) Brazilian Pepper tree (*Schinus terebinthifolius*) approximately 20-25 feet in height. Given this more erratic pattern of street trees, the landscape plan

proposes to plant that parkway with as many as ten (10) new deciduous, flowering, Hong Kong Orchid trees (*Bauhinia × blakeana*) depending on how many of the existing trees are to be protected in place.

Hardscape

The surface parking lot includes strategically located areas of enhanced/decorative paving patterns and finishes. A narrow band of decorative paving in combination with a larger area with a different paving pattern will be installed at both of the two (2) driveway entrances. Additionally, narrow bands of decorative paving will be installed across the drive aisles in alignment with the projecting landscape fingers. The largest area of decorative paving will be located at the circular driveway/drop-off area at the main entrance to the new facility where a combination of paving patterns will be used. The pedestrian pathways are to be finished with a broom finish in a natural grey color.

Lighting

The plans call for the installation of fifteen (15), twelve (12) foot high light standards throughout the surface parking areas. The design of the light standards is vintage consisting of a decorative pole topped with a frosted glass acorn style lamp. The photometric plan for the site illustrates that the light standards will provide adequate on-site lighting but will not cast any additional lighting onto the adjacent residential properties to the west.

No details were provided regarding lighting fixtures for the exterior of the new structure or for the landscaped areas. However, the architect has stated that exterior wall sconces will be used throughout the project and typically located at exits exterior porches outside resident rooms, and exterior public spaces where arcades are located. The style will be wrought iron and glass lens type.

Walls and fences

The project includes the construction of new masonry walls and fences as follows:

- A new 42 inch high decorative tube steel/wrought iron fence along the northern portion of the easterly property line (after the ten (10) foot property dedication) and the eastern portion of the northerly property line;
- A five (5) to six (6) foot high decorative tube steel/wrought iron fence securing the east-facing courtyard;
- A new six (6) – eight (8) foot high masonry along the southerly portion of the westerly property line, subject to the results of an acoustical report;
- Replacement of an existing six (6) foot high CMU wall with a new six (6) – eight (8) foot high masonry along the northerly portion of the westerly property line, subject to the results of an acoustical report;

- New six (6) foot masonry walls enclosing the various secured outdoor gathering spaces located on the east and south sides of the new structure;
- Repair or replacement with new of the existing two (2) foot high wall located at the periphery of the site along the south and east property lines.

Signage

The project includes a request to approve three (3) monument signs, one each at the northeast and southeast corners of the site at Pacific Coast Highway, and another smaller one at the main driveway entrance off of Knob Hill Avenue.

The two (2) larger monument signs are designed to be a maximum of eight (8) feet in height and 16 feet in width. The primary component of the signs are designed to look like a decorative version of the proposed masonry walls with columns on either side that will be finished with stone caps. A metal cast oval plaque, no larger than 12 SF in size, displaying the Kensington company logo, name and the words 'Senior Living' is to be located at the center of the masonry wall portion of the signs. In addition, a trellis element is to be located on top of the masonry wall portion of the signs, complementing the use of trellis elements elsewhere on the site.

The smaller monument sign is designed to be a maximum of four (4) feet in height and 10 feet in width. The primary component of the sign is designed to look like a smaller, decorative version of the proposed masonry walls. A metal cast oval plaque, no larger than 12 SF in size, displaying the Kensington company logo, name and the words 'Senior Living' is to be located at the center of this monument sign.

The signs are to be lit by ground-mounted up-lighting.

Public Right-of-Way Dedication

A condition of approval for this project is a 10-foot right-of-way (ROW) dedication along the frontage of Pacific Coast Highway. This property dedication is required to allow for the future widening of the Pacific Coast Highway to a desired width of 100 feet, as established in the City's Transportation and Circulation Element (updated in 2009). The off-site improvements related to the street widening are not required at this time.

III. COMMUNITY OUTREACH

The applicant(s) have made a substantial effort in engaging the neighborhood in a meaningful dialogue about the proposed project. A 'Summary of Community Outreach' document is attached as is a 'Project Related FAQs' document and a letter of support from the Chamber of Commerce.

In brief, the project applicant(s) met with residents and other community stakeholders on three (3) occasions as follows:

July 11, 2015 - As per the request of Council Member Jeff Ginsburg the applicant(s) made a presentation to his regular Saturday Neighborhood Meeting. (approximately 30 people attended)

September 10, 2015 – The applicant(s) made a presentation to the Chamber of Commerce – Local Issues Committee. Subsequent to that meeting the Chamber of Commerce sent a letter of support to the Planning Commission.

September 28, 2015 – The applicant(s) invited neighbors within 300 feet (94 invitations were sent out) to an Open House held at the community room located on the subject property. (approximately 25 people attended)

As stated by the applicant(s) at the end of the 'Summary of Community Outreach': "....., the general conclusion is the proposed assisted living community is the best use of the site. This conclusion does not suggest there are NO remaining concerns as evidenced by their [the neighbors] interest in the plans."

As was reported to the Planning Division Staff by the project applicant, several resident(s) who live on Avenue A directly west of the subject property have expressed concerns regarding the proposed location a surface parking area in proximity to their residences, where there is currently none. Their concerns are related to the potential for an increase in noise from the cars and drivers as well as automobile emissions. Several recommended conditions of approval will help to minimize these potential impacts including the following:

- That the west property line wall shall be eight (8) feet in height except within the front setbacks on Knob Hill and Avenue A where the maximum height shall be 42 inches. It shall be constructed of materials designed to act as a sound barrier, however it shall also be designed to match the other perimeter walls that will be finished with materials and colors in harmony with the materials and colors used on the primary structure.
- That the landscaping plans for the landscape area that is 15 feet wide and 154.79 feet long that is located along the most westerly property line as measured from the front property line on Avenue A shall be re-designed so as to create the maximum possible buffer between the surface parking lot and the adjacent residential uses.
- That the applicant shall install five (5) electric vehicle charging stations at the five (5) parking spaces located closest to the westerly property line at the most southerly property line on Avenue A.

The project applicant also reported that a resident on Knob Hill Avenue indicated that the proposed location of four (4) parking spaces at the north property line on Knob Hill Avenue

west of the new driveway felt like too much like an encroachment of a commercial parking lot into the residential character of the street further west on Knob Hill Avenue. This concern can be addressed by the following recommended condition of approval:

- That the landscaping plans for the landscape area that is approximately 36 feet wide and eight (8) feet deep, located along the north property line on Knob Hill Avenue west of the new driveway, directly in front of the four (4) parking spaces, be redesigned so as to screen the parked cars from the public right-of way.

The 'Project Related FAQs' document prepared by the applicant(s) provides important information from the perspective of the project developer/operator and the school district on the following topics:

Project Developer/Operator Related FAQs:

- the purpose of the project;
- who the customer will be;
- what the demand is for assisted living facilities;
- new demands of Police and Fire Departments;
- new/more traffic;
- benefits to the City; and
- results of a poll conducted on the proposed project, November 2014

School District Related FAQs:

- current situation at subject property;
- benefit to the school district of leasing the property
- why not sell the property;
- our leased school district properties;
- what about future growth in school enrollment; and
- the future of the site.

IV. ENVIRONMENTAL REVIEW

Pursuant to the California Environmental Quality Act and Guidelines ("CEQA"), an Initial Study for the proposed project was prepared in December 2013 by MIG / Hogle-Ireland, the environmental consultants for the project (attached under the Final Environmental Impact Report, Volume 2 Appendices, Appendix A). The Initial Study identified the potential for environmental impacts in the following areas: Aesthetics, Air Quality, Cultural Resources, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use and Planning, Noise, Public Services, Transportation and Circulation, and Utilities and Service Systems.

A 'Scoping Hearing' was held on December 12, 2013 at the community center on the subject property to which the surrounding neighbors and relevant agencies and organizations were invited. Questions and answers between the applicant, environmental consultants and residents took place after a brief presentation of the proposed project was made. Twelve (12) individuals formally signed in, though there were additional individuals who attended but preferred not to sign in.

On December 18, 2015, the City issued a Notice of Preparation (NOP) to the surrounding neighbors and relevant agencies and organizations informing them that an Environmental Impact Report (EIR) was being prepared and requesting that they provide comments within 30 days. Responses were received from several residents; the Native American Heritage Commission; the County Sanitation Districts of Los Angeles; the South Coast Air Quality Management District; and Caltrans, Department of Transportation, Office of Transportation Planning, District 7.

The Draft EIR (DEIR) identified three (3) potential environmental impacts in two (2) areas including "Cultural Resources" and "Greenhouse Emissions". However those impacts were determined to be 'Less than Significant with Mitigation incorporated' as follows:

IMPACT	SUMMARY	MITIGATION MEASURE
	<i>Cultural Resources</i>	
4.3.A	The proposed project would not cause a substantial adverse change in the significance of a historical resource with implementation of mitigation. Future projects in the City would be subject to General Plan policies related to historic resources, ensuring that a collective loss of cultural information and resources do not occur within the City. Cumulative impacts related to the loss of historic resources would be less than significant with mitigation incorporation.	4.3.A-1 (Compliance with Historic Resource Guidelines)
	<i>Green House Gas Emissions</i>	
4.5.A 4.5.B	While the project would be less than the 3,000 metric ton GHG threshold and the policy consistency analysis, it would not meet 15 percent BAU reduction threshold. With implementation of Mitigation Measures 4.5.A-1 and 4.5.A-2, impacts would be less than significant. Impacts associated with greenhouse gas emissions would be less than significant with incorporation of mitigation. In addition to meeting regulatory requirements associated with the state CALGREEN requirements, the proposed project will surpass the 2013 Title 24 energy efficiency standards by five	4.5.A-1 (Exceed Title 24 Building Code by 5%) 4.5.A-2 (Solar Panels)

	percent and will be required to install solar panels. The proposed project would not result in a cumulatively considerable contribution to world climate change.	
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These mitigation measures are identified in the Mitigation Monitoring and Reporting Program (MMRP), attached under Volume 3 of the FEIR. All other potential environmental impacts were determined to be less than significant.

Upon completion, the DEIR was made available for the mandatory 45-day public review period starting on June 11, 2015 and ending on July 27, 2015. A copy of the DEIR was made available on the City's website <http://www.redondo.org/>, at City of Redondo Beach, Planning Division located at 415 Diamond Street, Redondo Beach, and at the Redondo Beach Public Library located at 303 N. Pacific Coast Highway, Redondo Beach.

Comments were received from the following interested parties:

DEIR Comments

ID	Commenting Agencies and Individuals	Date
A	Steve Izant	7/9/2015
B	Kelly Martin	7/11/2015
C	Citizens Advocating Rational Development	7/18/2015
D	Delia Vechi	7/20/2015
E	Sanitation Districts of Los Angeles County	7/24/2015
F	Department of Transportation, District 7	7/27/2015
G	Marcie Guillermo	7/28/2015
H	Beach Cities Health District	7/24/2015
I	Jim Light	8/7/2015

The comments include but are not limited to concerns related to new or additional noise impacts on Avenue A residents that could be generated by trash trucks, delivery trucks, and emergency vehicles; an increase in traffic and parking generated by the proposed project; an oversupply of senior facilities in the City; impacts on City services and utilities.

Noise

Pacific Coast Highway (PCH) is a four-lane north/south major arterial designated by the City of Redondo Beach to carry truck traffic. It is also the street used most commonly by emergency vehicles enroute to their destinations in the south Redondo area. As such, it contributes significantly to the existing ambient noise levels on the subject property and adjacent area during the daytime and the nighttime. Other daytime noise sources include construction activities, trash trucks, landscape maintenance, dogs and children.

As discussed in the formal response to comments (RTC) section, the proposed driveway on Avenue A will be secured via an access key and will be accessible to fire and delivery trucks only. No exiting will not be permitted from this driveway. Solid waste collection vehicles will continue to access the project site via Knob Hill Avenue. Described in greater detail in the RTC is the fact that the noise from the solid waste collection activities will have a minimal impact on the Avenue A residents. There is also an extensive discussion about potential new noise impacts from emergency vehicles and the fact that emergency vehicles from within the Shared Service Area (SSA) already use Pacific Coast Highway, and that some of the calls from the proposed facility will be transplanted calls that formerly occurred elsewhere in the area.

Traffic

The proposed project is projected to generate approximately 346 daily vehicle trips; 18 vehicles per hour during the weekday morning peak hour and 29 vehicles during the weekday evening peak hour. The traffic study projections to the year 2019, using existing traffic conditions with an annual cumulative growth rate and traffic generated by project, indicate that the project will not have a significant impact on any of the thirteen (13) surrounding study intersections.

Parking

Pursuant to Section 10-5.1704(a) (4)c of the Municipal Code, the proposed residential care facility requires one (1) parking space for every three (3) beds. At a maximum of 130 beds, a minimum of 44 parking spaces would be required to be provided. However, the Planning Division staff requested the applicant to provide parking beyond the requirements of the Municipal Code; by providing an additional parking space for every two (2) employees. Since it is anticipated that the facility will employ 110 part- and full-time staff with a maximum of 44 employees scheduled to work during the busiest shift of 12:00 Noon to 1:00 P.M., an additional 22 parking spaces would be required for staff, resulting in a new total requirement for 66 on-site parking spaces. The project exceeds this requirement with a total of 70 parking spaces provided.

Additionally, the project will include bike racks with a total capacity for 28 bicycles divided among four (4) locations, thereby encouraging this alternate means of travel.

Oversupply of Senior Facilities

There are currently various senior housing projects in the City and several small residential care facilities for the elderly within the City of Redondo Beach; however, only one RCFE serving seven or more persons; Silverado Beach Cities Memory Care (formerly Sunrise Senior Living) which currently operates within the City. The facility located within the south tower of the Beach Cities Health District structure located at 514 N. Prospect Avenue was granted a Conditional Use Permit for the operation of a 57-bed facility by the Planning Commission on April 21, 2005, pursuant to City Council Ordinance

No. 2966-05, adopted June 21, 2005, that amended the Zoning Ordinance to permit residential care facilities in the P-CF Community Facility Zone, subject to a Conditional Use Permit. On April 20, 2006, the Planning Commission granted the facility the approval to expand its operation to 72 beds. While this amendment applies to zoned P-CF in non-coastal areas of the City, it does not currently apply to P-CF zoned sites located with the Coastal Zone. As such, there are no RCFE located in the City's Coastal Zone.

A customer origin analysis was performed by Senior Housing Analytics (February 25, 2015) to determine how many residents would originate from within the shared service area (SSA) defined as Redondo Beach, Manhattan Beach, Hermosa Beach, and Torrance. A Primary Market Area (PMA) is the geographic area from which 60 to 70 percent of customers are expected to originate. In markets such as beach cities, the typical PMA is a five-mile radius. If the SSA has an assisted living utilization rate comparable to the median of all the PMA's in major US markets, the SSA can support 830 assisted living and 211 memory care units in 2015. The current supply, current and under construction, is 370 assisted living and 191 memory care units. Based on the customer origin analysis performed by Senior Housing Analytics, the SSA is underserved with assisted living and memory care units and approximately 78 to 91 residents (60 and 70 percent of 130 beds) would originate from within the SSA.

Impact on City Services

Based on the analysis presented in the FEIR, the proposed RCFE will not have a significant impact on the City of Redondo Beach Fire Department emergency medical response services based on current staffing and equipment as well as those of the Fire Departments in the Mutual Aid Agreement. Many of the emergency medical service calls generated by the proposed project may be transplanted calls that formerly occurred elsewhere in the area.

The proposed project is not expected to have any impact on Police Services or the Redondo Beach Unified School District. The project will have a beneficial economic impact to the Redondo Beach Unified School District by generating new revenues that can be used to provide general services.

Impact on Utilities

As described in greater detail in the FEIR, the proposed project will not have any significant impact on the existing sanitary sewer system, stormwater collection system, or the supply of potable water. "Will Serve Letters" for the proposed project are on record from Southern California Edison, the California Water Service Company and the County Sanitation District of Los Angeles.

Response to Comments (RTC)

Detailed written responses were prepared for each of the comments made by the nine (9) above-stated residents and agencies regarding the adequacy of the DEIR. The "Response to Comments" (RTC) is included under the FEIR, Volume 3. None of the comments met the following CEQA criteria:

New significant information under the four general categories:

1. New significant impacts
2. Substantial increases in the severity of impacts
3. Feasible alternatives or mitigation that would reduce significant impacts
4. Identification of inadequacies in the analysis

Therefore, no changes to the environmental documents were required.

Volume 3 of the FEIR also includes an Errata Section that identifies revisions to the Environmental Impact Report (EIR) that were made in response to the comments and minor errors corrected through subsequent review. The revisions do not alter any impact significance conclusion disclosed in the Draft FEIR, and therefore, do not warrant recirculation of the Draft FEIR for public review. The revisions to the Draft FEIR will be incorporated into the Final EIR, if certified.

A number of recommended project conditions of approval are also included in the FEIR. They include two (2) conditions regarding the geology, one (1) condition regarding the potential presence of asbestos, and five (5) conditions intended to minimize the noise and vibration generated by demolition and construction activities.

EVALUATION OF PROJECT DEVELOPMENT STANDARDS

Conformity/Proposed Amendments to the General Plan, Local Coastal Plan and Coastal Zoning Ordinance

Land use development on the subject property is governed by the General Plan, Local Coastal Plan and Coastal Zoning Ordinance, all of which are required by State Planning and Zoning Laws to be in conformance with each other. The subject property is designated '*Public or Institutional*' in the City's General Plan and the City's Coastal Land Use Plan. It is zoned '*Public - Community Facility (P-CF)*' in the Coastal Zoning Ordinance.

Currently, the General Plan land use designation, the Coastal Land Use classification and the Coastal zoning of the subject property do not allow for the development of senior housing or RCFE facilities. In 2005, amendments to the General Plan and Zoning

Ordinance were approved to allow for the development of senior housing including RCFE facilities on properties zoned Public-Community Facility (P-CF) zone in the non-coastal zone areas of the City, but not on properties zoned Public-Community Facility (P-CF) zone in the Coastal zone. The Coastal Commission disapproved of such an amendment in the Coastal zone because of concerns related to losing potential developments sites for Coastal commercial opportunities.

Given the previous broader concerns raised by the Coastal Commission, the request to allow for the development of RCFE facilities on P-CF zoned properties in the City's Coastal Zone has been limited to properties over one acre in size. This eliminates the potential for the development of a RCFE facility on the only other property zoned P-CF in the Coastal Zone, which is the property located at the southwest corner of the intersection of Pearl Avenue and Broadway Avenue; that 0.52 acre parcel is developed with the City's Fire Station No.1.

Amendments to the three (3) governing land use documents allowing the proposed use to be developed on the subject property with a conditional use would need to be approved by the City in conjunction with the requested land use entitlements for the project as follows:

Text proposed to be removed is stricken through and text proposed to be added is underlined and in bold. In several instances, the amendments described below only apply to one subsection of the municipal code, therefore the entire section is not provided in its entirety (this should not be construed as a deletion of these other un-amended subsections).

REDONDO BEACH GENERAL PLAN

Land Use Element

2.1.4 Goals, Objectives, and Policies RESIDENT-SERVING LAND USES

Policies It shall be the policy of the City of Redondo Beach to:

- 1.2.3 Allow for the development of housing types intended to meet the special needs of senior citizens, the physically challenged, and low and moderate income households in areas classified as Multi-Family Residential ("R-2," "R-3," "RMD," and "RH"), Mixed Use ("MU-1," "MU-2," and "MU-3"), Commercial Regional ("CR"), **and Public or Institutional (where Public or Institutional is located in the "P-CF" zone – and where, in the P-CF zone only senior housing classified as Residential Care Facilities for the Elderly (RCFE) over one acre in the Coastal Zone)** on the Land Use Plan map provided that they are designed to be compatible with adjacent

residential structures and other areas designated for other categories of use provided that no substantial adverse impacts will occur (11.1).

- 1.2.4 Allow for the development of housing for senior citizens by permitting such housing to vary from the development standards in the zone in which it is located (subject to approval of a Conditional Use Permit and Planning Commission Design Review) in areas classified as Multi-Family Residential ("R-3," "RMD," and "RH"), Commercial ("C-2," "C-3" and "C-4"), Mixed Use ("MU-1," "MU-2," and "MU-3"), Commercial Regional ("CR"), and Public or Institutional (where Public or Institutional is located in the "P-CF" zone – and where, in the P-CF zone, only senior housing classified as Residential Care Facilities for the Elderly (RCFE) over one acre in the Coastal Zone) on the Land Use Plan map provided that a) it is appropriate at the proposed location; b) it is located within a reasonable walking distance of commercial retail, professional, and social and community services patronized by senior citizens, or has its own private shuttle bus that will provide daily access to these services, or be within a reasonable walking distance of a bus or transit stop providing access to these services; and c) the project includes units affordable to lower-income or moderate-income households to the extent feasible.

Public and Institutional Uses

Objective It shall be the objective of the City of Redondo Beach to:

- 1.46 Provide for the continuation of existing and expansion of governmental administrative and capital, recreation, public safety, human service, cultural and educational, infrastructure, and other public land uses and facilities to support the existing and future population and development of the City and facilities that provide funding for education services elsewhere.

Policies It shall be the policy of the City of Redondo Beach to:

- 1.46.1 Accommodate governmental administrative and maintenance facilities, parks and recreation, public open space, police, fire, educational (schools), cultural (libraries, museums, performing and visual arts, etc.), human health, human services, public utility and infrastructure (transmission corridors, etc.), public and private secondary uses, and other public uses in areas designated as "P" and facilities that provide funding for education services elsewhere.

LOCAL COASTAL LAND USE PLAN

- VI. Location and Planning New Development
A. Subareas

7. Subarea #7

~~Public Facility~~ — The elementary school, Patterson, is located at the northerly border of the subarea. The school currently contains grade levels kindergarten through 6.

Institutional/Public – Community Facility – The Redondo Beach Unified School District owned property located at the northerly border of the subarea.

C. Proposed Land Use Classifications
Public or Institutional

3. Community facilities, governmental facilities, and public safety facilities: These include the Civic Center (City Hall, Public Library, and Police Station) at Diamond Street and Pacific Coast Highway, the fire station at S. Broadway and Pearl Street, and the Recreation and Community Services Center **Redondo Beach Unified School District owned property** at Knob Hill and Pacific Coast Highway. Permitted uses include parks and open space, and uses which may be considered subject to a Conditional Use Permit include cultural uses (libraries, museums, etc.), institutional uses (governmental, police, fire, etc.), community centers, public athletic clubs, performance art facilities, educational facilities, child day care centers, **Residential Care Facilities for the Elderly (RCFE)**, schools, parking lots, and similar public or institutional uses. For the Civic Center, the maximum floor area ratio of all buildings on the site is 1.25 and the maximum height is three stories, 45 feet. The floor area ratio and height of buildings at other community facility/governmental facility/public safety facility sites will be determined as part of the required public hearing process for any proposed new building.

D. Land Use Policies

14. Allow for the development of housing for senior citizens in Area 1 of the Coastal Zone by permitting such housing to vary from the limits on height, density, floor area and number of stories, the requirements for upper level setbacks, required percentage of commercial frontage and the parking standards in the zone in which it is located (subject to approval of Conditional Use Permit and Planning Commission Design Review) in areas classified as Multi-Family Residential ("R-3", "RMD", and "RH"), and Mixed-Use ("MU") on the Coastal Land Use Plan Map, and on lots classified Commercial ("C-2", "C-3", and "C-4") on the Coastal Land Use Plan Map, that are also located north of Knob Hill Avenue, adjacent to Pacific Coast Highway, **and on lots classified Public-Community Facility ("P-CF" – and where, in the P-CF zone, only senior housing classified as**

Residential Care Facilities for the Elderly (RCFE) over one acre
provided that:

REDONDO BEACH MUNICIPAL CODE

Chapter 5 Coastal Land Use Plan Implementing Ordinance

Section 10-5.1110 Land use regulations: P-CIV Civic Center zone, P-RVP Riviera Village parking zone, P-GP generating plant zone, P-ROW right-of-way zone, P-CF community facility zone, and P-PRO parks, recreation, and open space zone.

Use Classification	P-CIV	P-RVP	P-GP	P-ROW	P-CF	P-PRO	Additional Regulations See Section:
Public and Other Uses							
Parks, parkettes, open space, recreational facilities, beaches, and coastal bluffs	P	P	P	P	P	P	10-5.1111(a), 10-5.1111(b), 10-5.1111(c)
Public buildings in parks, recreation areas, open space areas, and beaches	C	C	C	C	C	C	10-5.1111(a), 10-5.1111(b), 10-5.1111(c)
Adult education centers	--	--	--	--	C	--	
Agricultural and horticultural uses	C	--	--	C	C	C	10-5.1111(a), 5.1111(c)
Child day care centers	C	--	--	--	C	C	10-5.1111(a), 5.1111(c)
Community centers	C	--	--	--	C	C	10-5.1111(a), 5.1111(c)
Cultural institutions	C	--	--	--	C	C	10-5.1111(a), 5.1111(c)
Government maintenance facilities	C	--	--	--	C	C	10-5.1111(a)
Government offices	C	--	--	--	C	C	10-5.1111(a), 5.1111(c)
Public gymnasiums and athletic clubs	C	--	--	--	C	C	10-5.1111(a), 5.1111(c)
Hospitals	--	--	--	--	C	--	
Medical offices and health-related facilities	--	--	--	--	C	--	
Nurseries, wholesale and retail	C	--	--	C	C	C	10-5.1111(a), 5.1111(c)
Performance art facilities	C	--	--	--	C	C	10-5.1111(a), 5.1111(c)
Parking lots	C	C	--	C	C	C	10-5.1111(a), 5.1111(c)
Public safety facilities	C	--	--	--	C	C	10-5.1111(a), 5.1111(c)
Public utility facilities	C	C	C	C	C	C	10-5.1614, 10-5.1111(a), 10-5.1111(c)
Schools, public and private	--	--	--	--	C	--	
Accessory uses/structures	P	P	--	P	P	P	10-5.1111(b), 5.1111(c)
<u>Residential Care Facilities for the Elderly (RCFE)</u>	=	=	=	=	C*	=	<u>10-5.1111(c), 10-5.1116, 10-5.1624</u>
* <u>on properties over one acre</u>							

Section 10-5.1624 Housing for senior citizens

(c)(1) Zones where permitted by Conditional Use Permit. Housing for senior citizens may be considered in Area 1 of the Coastal Zone in the R-3A, RMD, and RH multiple-family residential zones, in commercially zoned lots fronting Pacific Coast Highway that are also located north of Knob Hill Avenue and in all mixed-use zones. **Residential Care Facilities for the Elderly may be considered in the Coastal Zone in Public-Community Facility (P-CF) zoned lots over one acre.**

Compliance with Public – Community Facility (P-CF) Development Standards

The following is a brief overview of the project's compliance with the development standards for properties zoned Public – Community Facility (P-CF) within the Coastal Zone.

- **Floor Area Ratio (FAR)** – ‘The FAR shall be determined subject to Planning Commission Design Review.’ The proposed FAR of 0.56 is similar to surrounding developments on Pacific Coast Highway and to these types development projects (RCFE) in general.
- **Building Height / Stories** – ‘The height of buildings or structures shall not exceed 45 feet and 3 stories or 30 feet and 2 stories within 300 feet from the beach.’ The site is approximately 800 feet from the beach and the proposed average height of the structure is 33 feet with 2 stories.
- **Setbacks** – ‘The setbacks shall be determined subject to Planning Commission Design Review.’ The proposed setbacks are an average of 71 feet on Knob Hill Avenue (north), 25 feet minimum on Pacific Coast Highway (east), 25 feet minimum on Avenue A (south), and approximately 135 feet to the west on Knob Hill Avenue and 80 feet to the west on Avenue A. These setbacks are appropriate given the size and location of the building. The larger setbacks to the north and west allows for the location of surface parking areas on those sides of the proposed facility. An eight (8) foot high property line wall on the west property line with a 15 foot landscaped area between the parking lot and the property line will providing additional buffering for the residential property to the west on Avenue A. The smaller setback and landscape area on the south is consistent with the front setback of neighboring residential properties with one and two-story structures.

Compliance with the Public Art Requirement

Pursuant to Chapter 6 (*Public Art Requirement*) of the Municipal Code, public art shall be installed on the project site in a public place. The value of the public art shall be equal to at least one percent (1%) of the building valuation and displayed in a manner that will enhance its enjoyment by the general public. Alternatively, the developer may pay a public art monetary contribution into the City Public Art Fund equal to one (1%) percent

of the building valuation above two hundred fifty thousand dollars (\$250,000.00). This shall be paid at the time of building permit issuance.

The applicant has designated a potential location for public art at the northeast corner of the project site; however, no specific art proposals have been provided at this time. A recommended condition will require the developer to demonstrate compliance with this requirement prior issuance of building permit.

PROJECT ENTITLEMENT CRITERIA AND FINDINGS

CONDITIONAL USE PERMIT

The proposed project requires a text amendment to the zoning of the property. The proposed text amendment will allow the approval of a residential care facility for the elderly through the approval of a Conditional Use Permit.

The purpose of a Conditional Use Permit is to review certain uses possessing unique characteristics, to insure that the establishment or significant alteration of those uses will not adversely affect surrounding uses and properties nor disrupt the orderly development of the community. Approval of a Conditional Use Permit must generally meet certain criteria specified in Section 10-5.2506 of the Municipal Code.

Conditional Use Permit criteria include the following:

1. *The site for the proposed use shall be in conformity with the General Plan and the Coastal Land Use Plan and shall be adequate in size and shape to accommodate such use and all setbacks, spaces, walls and fences, parking, loading, landscaping, and other features required by this chapter to adjust such use with the land and uses in the neighborhood.*

Assuming the approval of the proposed text amendments, the proposed use will be in conformance with both the General Plan and the Coastal Land Use Plan which allows for the development of Residential Care Facilities for the elderly on lots classified Public-Community Facility (P-CF) that are over one acre in size. The subject property is 3.30 acres in size (after the Public Right-of-Way Street Dedication) and is adequate in size and shape to accommodate ample building setbacks and outdoor spaces, provide walls and fences, and sufficient parking, loading, landscaping, and other features as required. The proposed facility is two-stories in height with an FAR of .56 which is consistent with similar development in the city and these type projects in general.

2. *The site for the proposed use shall have adequate access to a public street or highway of adequate width and pavement to carry the quantity and kind of traffic generated by the proposed use.*

The project site is bound by Knob Hill Avenue to the north, Pacific Coast Highway to the east, and Avenue A to the south. Vehicular access to the project site is provided from Knob Hill Avenue via a 30-foot wide driveway at the northwest corner of the project site. The driveway provides one inbound lane and one outbound lane. A 25-foot wide entry access point for fire and delivery trucks only is provided at the southwest corner of the site on Avenue A. Entry via this driveway would be controlled with a key access pad and control arm barricade. The proposed project includes a 10-foot right-of-way (ROW) dedication on Pacific Coast Highway, however, no off-site improvements are proposed in conjunction with this dedication.

3. *The proposed use shall have no adverse effect on abutting property or the permitted use thereof.*

The project will not have an adverse effect on the surrounding areas because the proposed use will not generate any additional traffic or parking demands, noise or other undesirable impacts. The proposed facility will provide a much needed residential care facility for the elderly who require assisted living and who wish to remain living in the South Bay area near friends and family.

4. *The conditions stated in the resolution or design considerations integrated into the project shall be deemed necessary to protect the public health, safety, and general welfare. Such conditions may include but shall not be limited to:*

The Conditions of Approval as provided in the resolution approving the proposed project are deemed necessary to protect the public health, safety, and general welfare and to achieve development in an orderly and efficient manner in conformity with the Coastal Zoning Ordinance and the Coastal Land Use Plan.

PLANNING COMMISSION DESIGN REVIEW

Pursuant to Section 10-5.2502 of the Municipal Code, any new commercial, industrial, mixed use or public development of any size on a site involving more than 10,000 square feet of land, requires Planning Commission Design Review. The purpose of the Design Review is to look at the compatibility, originality, variety, and innovation in the architecture, design, landscaping, and site planning of the project. The purpose of the review is also to protect surrounding property values, prevent blight and deterioration of neighborhoods, promote sound land use, design excellence, and protect the overall health, safety, and welfare of the City.

User impact and needs. *The design of the project shall consider the impact and the needs of the user in respect to circulation, parking, traffic, utilities, public services, noise and odor, privacy, private and common open spaces, trash collection, security and crime deterrence, energy consumption, physical barriers, and other design concerns.*

The site is well organized with the placement of the main entrance closest to Pacific Coast Highway and the location of the private and communal outdoor living areas located in the side yards and center of the site. The "H" shaped building footprint, provides privacy to the center courtyard and shields the senior residences from existing commercial activities on Pacific Coast Highway. Both pedestrian and vehicular access is provided from Knob Hill Avenue on the northwest corner of the site. Entry for fire and delivery trucks only is proved at the southwest corner of the site on Avenue A.

The proposed project provides a total of 70 parking spaces for residents, guests, and employees including five (5) spaces with electric vehicle charging equipment as conditioned. One parking space per three beds and one space per two employees are provided with an additional four (4) parking spaces. This is well in excess of the minimum required parking of one (1) space for every three (3) bed, which is equivalent to 44 parking spaces. One space is allocated for van pool/car pool parking. The covered entry arcade provides a drop-off turnaround area for residents and guests at the main entrance with a secondary drop-off area at the rear of the facility.

A loading area and trash facility are located at the southwest corner of the facility, approximately 81 feet away from the closest residential property to the west. The trash facilities including two (2) regular trash bins, one (1) green organic waste bin, and one (1) recycling bin are to be located within a 17-foot-wide by 10-foot-deep trash room outfitted with two 7-foot-wide roll-up doors.

A combination of walls and gates would create a secured courtyard, garden, private outdoor areas, for its residents and guests. Parking lot lighting, landscape and sign lighting as well as wall-mounted lights will provide sufficient on-site lighting without casting any additional lighting of the adjacent properties.

Relationship to physical features. *The location of buildings and structures shall respect the natural terrain of the site and shall be functionally integrated with any natural features of the landscape to include the preservation of existing trees, where feasible.*

The terrain of the site is predominantly flat. Minor grading is proposed to maintain a flat building pad and provide proper drainage.

A large portion of the site, well over 50% including the surface parking lot and play area are currently finished with asphalt. The easterly portion of the site consists of ten (10) buildings with minimal landscaping consisting of trees, shrubs, and ground. The proposed plan includes the removal the existing landscaping and the installation of new, sustainable landscaping areas, planted with a greater quantity

and more appropriate planting palette. The new landscaping will also incorporate numerous bio-retention areas designed to retain and infiltrate stormwater runoff.

The landscape plans indicate that the existing street trees along Knob Hill Avenue, which include ten (10) mature King Palm trees and two (2) mature Red Flowering Gum Trees (*Corymbia ficifolia*) currently located on either side of the existing driveway are to be protected in place. The trees are all 30 – 35 feet plus in height. A recent inspection by the Public Works Department on October 1, 2015 revealed that the ten (10) King Palm trees have almost reached a height where they will interfere with the existing transmission lines above them. Therefore, it is now recommended that the ten (10) existing King Palms located in the public parkway be removed and replaced with ten (10) new appropriate street trees, the species and size of which are still to be determined by the City's Urban Forestry Manager prior to the approval of the final landscape, planting and irrigation plans.

The landscape plans indicate that as many as ten (10) new street trees, Hong Kong Orchids (*Bauhinia × blakeana*) are to be planted in parkway on the north side of Avenue A, depending on a final assessment of the existing trees to be conducted by the City's Urban Forestry Manager prior to the approval of the final landscape, planting and irrigation plans.

Consistency of architectural style. *The building or structure shall be harmonious and consistent within the proposed architectural style regarding roofing, materials, windows, doors, openings, textures, colors, and exterior treatment.*

As described earlier, the proposed building design is based on elements of the Spanish Revival, Mission, and Santa Barbara architectural styles including a terra cotta tile roof with exposed eave rafters, corbels, decorative columns, wrought-iron railings, decorative tile accents, wood shutters, awnings with wrought-iron accents, and wooden trellises. It has a highly articulated roofline and building façade. Projecting roof elements supported by columns and arched wall segments at the ground level create shaded patios and arcades while providing an additional visual element that breaks up the two-story façade. The architectural style is consistently applied to all of the exterior elevations.

There is only one exterior building material that is atypical of this type of architecture; the use of stone veneer on the chimney and portions of the tower elements (not shown in the renderings and exterior elevations but indicated in the notes on Sheets A3.0 and A3.1. This minor detail can be addressed later in the process as indicated in one of the recommended conditions of approval.

Balance and integration with the neighborhood. *The overall design shall be integrated and compatible with the neighborhood and shall strive to be in harmony with the scale and bulk of surrounding properties.*

The proposed facility is two stories and approximately 33 feet in height which is similar to the height and number of stories of many of the structures, both residential and commercial, located in the surrounding area. Although the mass and scale of the proposed structure, as defined by the overall footprint and the linear dimensions of the structure, is larger than the residential structures adjacent to the subject property, it is mitigated by the design, which includes a highly articulated roofline and building façade. Additionally, the use of one-story elements such as covered patios, arcades, and other entry features create a residential scale of architectural features that is in harmony with the scale and bulk of the surrounding properties.

Building design. *The design of buildings and structures shall strive to provide innovation, variety, and creativity in the proposed design solution. All architectural elevations shall be designed to eliminate the appearance of flat facades or boxlike construction:*

The building façade includes a variety of non-repetitive architectural features, projections, decorative accents, colors and materials, all of which add interest to the overall building design. Additionally, the roof line, which is articulated through differentiated heights, projections and roof styles creates variety and helps eliminate the appearance of flat facades or boxlike construction.

Signs. *Signs and sign programs shall meet the criteria established in Sign Regulation Criteria, Section 10-5.1802.*

Sheet A1.0, identifies the location, size, and general design for three monument signs. The proposed monument signs, which are designed to look like decorative elements of the proposed property line walls are appropriate terms of scale, size, and design.

It is recommended that the applicant submit for review and approval by the Planning Division staff a sign program design details for all proposed signs; including materials, colors, dimensions, sizes, locations, and sign setback distances to ensure that signs are in harmony with the building and site, provide a safe sight clearance for pedestrians and vehicles, and promote a high quality visual environment.

COASTAL DEVELOPMENT PERMIT

In accordance with Section 10-5.2218(a) of the Redondo Beach Municipal Code, the applicant's request for a Coastal Development Permit is consistent with the criteria set forth therein for the following reasons:

1. *That the proposed development is in conformity with the Certified Local Coastal Program.*

Assuming the approval of the proposed text amendments, the proposed residential care facility for the elderly is compatible with the objectives, policies, and general land uses specified in the plan.

The proposed operation of a residential care facility for the elderly is subject to the approval of a Conditional Use Permit providing appropriate regulations for the development of the site so as to not be detrimental to the public health, safety, and general welfare. See the above-stated discussion regarding the criteria for the approval of a Conditional Use Permit, and the evaluation of the proposed project in light of that criteria

- 2. That the proposed development, if located between the sea (or the shoreline of any body of water located within the coastal zone) and the first public road paralleling the sea, is in conformity with the public access and public recreation policies of Chapter 3 of Division 20 of the Public Resources Code (commencing with Section 30200).*

The subject site is located within the Coastal Zone. However, it is not located the sea (or the shoreline of any body of water located within the coastal zone) and the first public road paralleling the sea.

- 3. That the decision-making body has complied with any CEQA responsibilities it may have in connection with the project, and that, in approving the proposed development, the decision-making body is not violating any CEQA prohibition that may exist on approval of projects for which there is a less environmentally damaging alternative or a feasible mitigation measure available.*

Pursuant to the California Environmental Quality Act (CEQA) (California Public Resources Code, Division 13, Section 21000, et seq.), the CEQA Guidelines (Title 14 of the California Code of Regulations, Division 6, Chapter 3, Section 15000, et seq.), and Title 10, Chapter 3 (Environmental Review Pursuant to the California Environmental Quality Act) of the Redondo Beach Municipal Code (RBMC), the preparation of an EIR was required for the proposed project. Although, the proposed project includes both legislative amendments (e.g. General Plan amendments) and the approval of discretionary land use entitlements (e.g. a Conditional Use Permit), the EIR focused upon the impacts of the underlying physical development, consistent with CEQA Guidelines Section 15378(d). Pursuant to the EIR, the proposed project will have a less than significant impact upon the environment with the incorporation of the mitigation measures

VESTING TENTATIVE PARCEL MAP

Vesting Tentative Parcel Map No. 72314 consolidates the existing underlying lots into one parcel for the purpose of developing it as a 96-unit residential care facility for the

elderly. The proposed Map meets the requirements of Chapter 1, Subdivisions, Article 5 of the City's Zoning Ordinance, and the California State Subdivision Map.

FINDINGS FOR APPROVAL:

1. In accordance with Section 10-5.2506(b) of the Redondo Beach Municipal Code, a Conditional Use Permit is in accord with the criteria set forth therein for the following reasons:
 - a) The proposed use is permitted in the land use district in which the site is located, and the site is adequate in size and shape to accommodate the use and all yards, open spaces, walls, and fences, parking, landscaping and other features, and the project is consistent with the requirements of Chapter 2, Title 10 of the Redondo Beach Municipal Code, to adjust the use with the land and uses in the neighborhood.
 - b) The site has adequate access to public streets of adequate width to carry the kind and quantity of traffic generated by the proposed use provided that the project includes an alley dedication to ensure the continued vehicular access to the adjacent parking area.
 - c) The proposed use shall have no adverse effect on abutting property or the permitted use thereof, subject to the conditions of approval.
 - d) The proposed project conforms to all of the requirements of the Zoning Ordinance contingent on the approval of the related text amendments.
 - e) The project is consistent with the Comprehensive General Plan of the City contingent on the approval of the related text amendments.
2. In accordance with Section 10-5.2502(b) of the Redondo Beach Municipal Code, the applicant's request for Planning Commission Design Review is consistent with the criteria set forth therein for the following reasons:
 - a) The design of the project considers the impact and needs of the user in respect to circulation, parking, traffic, utilities, public services, noise and odor, privacy, private and common open spaces, trash collection, security and crime deterrence, energy consumption, physical barriers, and other design concerns.
 - b) The location of the structure respects the natural terrain of the site and is functionally integrated with natural features of the landscape to include the preservation of existing trees, where feasible.

- c) The design of the project is harmonious and consistent within the proposed architectural style regarding roofing, materials, windows, doors, openings, textures, colors, and exterior treatment.
 - d) The design of the project is integrated and compatible with the neighborhood and is in harmony with the scale and bulk of surrounding properties.
 - e) The design of the project provides innovation, variety, and creativity in the proposed design solution and serves to minimize the appearance of flat facades and box-like construction.
3. In accordance with Section 10-5.2218(c) of the Redondo Beach Municipal Code, the applicant's request for a Coastal Development Permit is consistent with the criteria set forth therein for the following reasons:
- a) The proposed development is in conformity with the Certified Local Coastal Program because it is consistent with the (Public-Community Facility (P-CF) zone and associated development standards, contingent on the approval of the related text amendments.
 - b) That the proposed development is not located between the sea (or the shoreline of any body of water located within the coastal zone) and the first public road paralleling the sea.
 - c) That the decision-making body has complied with any CEQA responsibilities it may have in connection with the project, and that, in approving the proposed development, the decision-making body is not violating any CEQA prohibition that may exist on approval of projects for which there is a less environmentally damaging alternative or a feasible mitigation measure available.
4. The Vesting Parcel Map 72314 is consistent with the Comprehensive General Plan of the City.
5. The plans, specifications and drawings submitted with the applications have been reviewed by the Planning Commission, and are approved.
6. The Planning Commission hereby finds that Environmental Impact Report (EIR) has been prepared and circulated in compliance with the provisions of the California Environmental Quality Act (CEQA), and the procedures set forth in the ordinances of the City of Redondo Beach.
7. A Mitigation and Monitoring Reporting Program (MMRP) has been developed that includes a mitigation monitoring table listing the mitigation measures and identifies the timing and responsibility for monitoring each measure.

8. The Planning Commission hereby finds that the proposed project will have no effect on fish and game resources pursuant to Section 21089(b) of the Public Resources Code.
9. The Planning Commission further finds that in reviewing the EIR it has exercised its own independent judgment.
10. The Planning Commission hereby finds and determines that the proposed project will not have a significant effect on the environment, subject to the modifications of the design review, conditions of approval and mitigation measures.

CONDITIONS:

1. That the approval granted herein is exclusively for the development and operation of an assisted senior living facility (also referred to as a 'Residential Care Facility for the Elderly' – RCFE) including the demolition of nine (9) of the ten (10) existing structures located on the subject property and the construction a two-story, 80,000-square-foot assisted living facility for the elderly with 96 residential suites (130 beds) to accommodate seniors as well as elderly who have Alzheimer's and other similar memory-impaired conditions, in substantial compliance with the plans approved by Planning Commission on October 15, 2015.
2. The approval of a Conditional Use Permit, Planning Commission Design Review, Coastal Development Permit, and Tentative Vesting Parcel Map for the project is contingent upon the City Council's approval of the text amendments to the General Plan, Coastal Land Use Plan and Coastal Zoning Ordinance to conditionally allow residential care facilities for the elderly on the subject property. Thereafter, the General Plan, Coastal Land Use Plan and Coastal Zoning Amendments must be approved by the California Coastal Commission and approved by the majority of City of Redondo Beach residents at a future public vote. Should the proposed project/amendments not be approved by the California Coastal Commission and/or approved by the City of Redondo Beach residents via public election pursuant to Article 27 of the City Charter, all discretionary land use entitlements for the proposed project shall become null, void and of no force and effect.
3. Pursuant to Section 10-5.2238 of the City's Coastal Zoning Ordinance, any proposed amendment to the Local Coastal Program shall not take effect until it has been certified by the Coastal Commission. Any amendment approved by the City shall be submitted to the Coastal Commission in accordance with Sections 30512 and 30513 of the Public Resources Code. An amendment to the certified Local Coastal Program shall not become effective until the amendment is submitted pursuant to the requirements of Sections 13551 and 13552 of Title 14 of the California Code of Regulations and certified by the California Coastal Commission pursuant to Chapter 6, Article 2 of the California Coastal Act.

4. That the precise architectural treatment of the building exterior, roof, walks, walls, and driveways shall be subject to Planning Division approval prior to issuance of a building permit. That further discussions shall occur between the architect and staff regarding the proposed use of stone veneer on portions of the tower elements and the chimneys prior to the final approval of all exterior building materials and colors.
5. That a detailed and dimensioned sign program providing design details for three (3) proposed monument signs be prepared including the materials, colors, dimensions, sizes, locations, and sign setback distances, to ensure that the signs are in harmony with the building and site, that they provide a safe sight clearance for pedestrians and vehicles, and that they promote a high quality visual environment. The final sign program shall be reviewed and approved by the Planning Division Staff prior to issuance of the Building Permit.
6. That all perimeter walls, patio walls, retaining walls, service area walls, and screening walls shall be of a matching masonry/block materials designed to match the materials and colors used on the primary structure, finished on both sides, or of decorative tube steel.
7. That the west property line wall shall be eight (8) feet in height except within the front setbacks on Knob Hill and Avenue A where the maximum height shall be 42 inches. It shall be constructed of materials designed to act as a sound barrier, however it shall also be designed to match the other perimeter walls that will be finished with materials and colors in harmony with the materials and colors used on the primary structure.
8. On-site traffic signing and striping shall be implemented in conjunction with detailed construction plans for the project. The project access on Knob Hill Avenue shall have a stop sign constructed for outbound traffic from the project site. A "No Exit" sign shall be posted at the driveway access on Avenue A.
9. The existing fire hydrant located within the public right-of-way on the south side of Knob Hill Avenue needs to be relocated as per the requirements of the City's Fire Department.
10. The existing curb and gutter located on Knob Hill Avenue shall be replaced. The existing sidewalk located on Knob Hill Avenue and the existing curb, gutter, and sidewalk on Pacific Coast Highway and Avenue A will either remain, be repaired or replaced as the requirements of the Engineering and Public Works Departments. The street segment on Knob Hill Avenue adjacent to the subject property shall be repaved to the centerline.

11. The applicant shall provide complete landscaping plans including planting details and irrigations plans pursuant to the requirements of the Assembly Bill (AB) 1881, the Water Conservation in Landscaping Act of 2006 (Laird). Further, the landscape plan shall include landscaped berm and swale areas where possible for visual, terrain, and topographical variety, be designed to be compliant with any water runoff requirements, and to avoid potential hazards for the senior residents, guests and staff.
12. That the landscaping plans for the landscape area that is approximately fifteen (15) feet wide and 154.79 feet long that is located along the most westerly property line as measured from the front property line on Avenue A shall be redesigned so as to create the maximum possible buffer between the surface parking lot and the adjacent residential uses.
13. That the landscaping plans for the landscape area that is approximately 36 feet wide and eight (8) feet deep, located along the north property line on Knob Hill Avenue west of the new driveway, directly in front of the four (4) parking spaces, be redesigned so as to screen the parked cars from the public right-of way.
14. That the ten (10) existing King Palms located in the public parkway on the south side of Knob Hill Avenue adjacent to the subject property be removed and replaced with ten (10) new appropriate street trees, the species and sizes of which are still to be determined by the City's Urban Forestry Manager prior to the approval of the final landscape, planting and irrigation plans. And that as many as ten (10) new street trees, Hong Kong Orchids (*Bauhinia × blakeana*), be planted in the parkway on the north side of Avenue A adjacent to the subject property, depending on a final assessment of the existing trees to be conducted by the City's Urban Forestry Manager prior to the approval of the final landscape, planting and irrigation plans. That the applicant shall pay to the City of Redondo Beach, the estimated value of the trees to be removed in addition to the cost of purchasing and planting the new street trees.
15. That at least one pedestrian / bicycle pathway be incorporated into the design of the site plan to allow for direct access from the public sidewalk on Pacific Coast Highway to the front entrance of the new facility building.
16. That the applicant shall install five (5) electric vehicle charging stations at the five (5) parking spaces located closest to the westerly property line at the most southerly property line on Avenue A.
17. The City's newly adopted Public Art Ordinance requires the project applicant to provide a zoning requirement contribution equivalent of one percent (1%) of the building valuation above \$250,000. This zoning requirement contribution can take the form of: 1) an installation of public art on the subject property, commissioned by the developer, but subject to the approval of the City's Public Art Commission;

2) a request that the installation of public art on the subject property be commissioned and approved by the Public Art Commission; 3) an installation of public art on the subject property valued at less than the required 1% contribution and provide the balance of the 1% for the public art zoning requirement contribution to the John Parsons Public Art Fund; or 4) pay the zoning requirement fee to The John Parsons Public Art Fund to be used for future public art in public places as determined by the Public Art Commission based on the City's Public Art Master Program. If the decision regarding the public art contribution is not finalized prior to the issuance of a building permit, the project developer will be required to deposit the required 1% zoning requirement fee in a set aside account. The satisfied within a one (1) year period from the date of the issuance of a construction permit, the monetary public art deposit will revert to the John Parsons Public Art Fund for future public art in public places as determined by the Public Art Commission based on the City's Public Art Master Program.

18. The project shall be prepared in accordance with the approved Standard Urban Storm Water Mitigation Plan (SUSMP) / Low Impact Development (LID), prepared for the subject site by PSOMAS prepared August 1, 2013 and Revised August 19, 2013.
19. Color and material samples shall be submitted for review and approval of the Planning Division prior to the issuance of Building Permits.
20. The Vesting Parcel Map shall be recorded within 36-months of the effective date of this resolution, unless an extension is granted pursuant to law. If said map is not recorded within said 36-month period, or any extension thereof, the map shall be null, void, and of no force and effect.
21. The applicant shall comply with the following mitigation measures and the associated procedures listed in the MMRP:
 - a. MM 4.3.A-1 Cultural Resources - Prior to issuance of building permits for the Kindergarten building, the applicant shall submit renovation/rehabilitation plans for the existing Kindergarten building showing compliance with the Secretary of the Interior's Standards for Treatment of Historic Properties and the associated Guidelines. These plans shall be submitted for review and approval by the City of Redondo Beach Preservation Commission pursuant to Redondo Beach Municipal Code Section 10-4.501.
 - b. MM 4.5.A-1 Greenhouse Gas Emissions - Prior to issuance of building permits, the project proponent shall submit, for review and approval by the Planning Department, building plans demonstrating an additional five

percent energy efficiency above 2013 Title 24 efficiency standards, which equates to a 28.3 percent exceedance of 2008 Title 24 efficiency standards.

- c. MM 4.5.A-2 Greenhouse Gas Emissions - Prior to issuance of building permits, the project proponent shall submit, for review and approval by the Redondo Beach Planning Department, construction drawings identifying the installation of a solar system producing a minimum of 46,975 kilowatt hours per year. Prior to the issuance of a certificate of occupancy the project proponent shall construct and operate the maximum amount of solar power possible on the proposed project rooftop (not to exceed 46,975 kilowatt hours per year). The remainder of the required 46,975 annual kilowatt hours shall be constructed by the project proponent on any RBUSD property or anywhere else on the project site prior to the issuance of a certificate of occupancy. If the project proponent plans on constructing any part of the solar system on off-site RBUSD property, the project proponent shall submit plans for review and approval to the RBUSD prior to issuance of building permits.
22. Prior to the issuance of building permits, the applicant shall incorporate all recommendations made within the Preliminary Geotechnical Engineering Report for the Proposed Senior Housing Development (project) prepared by Earth Systems Southern California dated March 6, 2014 (Appendix E of the EIR) into all associated grading and building plans. Recommendations related to soil engineering included on pages 9 through 19 of the report must be incorporated into plans to be approved by the Building and Engineering Divisions. The recommendations are related but not limited to: Site Preparation; Excavations; Foundations; Slab-on-Grade Construction; Retaining Walls; Expansive Soil; Utility Trenches; Preliminary Pavement Sections; Soil Chemical Testing; and Slope Stability.
 23. Prior to the issuance of building permits, the applicant shall provide a checklist and/or document demonstrating how each appropriate recommendation within the Preliminary Geotechnical Engineering Report is being incorporated into the construction documents.
 24. Prior to commencement of demolition activities, the existing on-site structures shall be surveyed for the presence of asbestos containing materials (ACM) by a contractor registered with Asbestos Contractor's Registration Unit, as required by the state law. Should ACM be detected, appropriate abatement measure pursuant to South Coast Air Quality Management District Rule 1403 shall commence by a registered contractor at the expense of the project proponent. Documentation certifying that ACM have been removed to satisfactory levels as required by state law shall be delivered to the city Building Division prior to demolition of existing structures on site. The applicant shall bear the cost of implementing this condition.

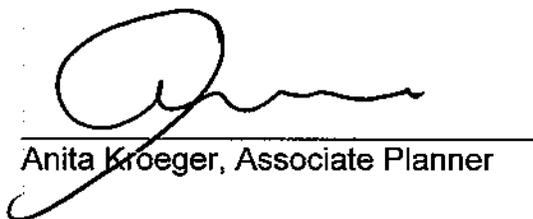
25. Prior to the issuance of building permits, the applicant shall incorporate all recommendations made within the Kensington Assisted Living Facility Noise Impact Analysis Report prepared by Kunzman Associates, Inc dated April 17, 2014 (Appendix H of the EIR) into all associated grading and building plans. Recommendations related to demolition and construction activities included on pages 27 through 28 of the report must be incorporated into plans to be approved by the Building and Engineering Divisions. The following conditions of approval are intended to minimize the noise and vibrations generated during construction activities:
- a. **Equipment Mufflers.** During all project construction, all construction equipment, fixed or mobile, shall be operated with closed engine doors and shall be equipped with properly operating and maintained residential-grade mufflers consistent with manufacturers' standards.
 - b. **Stationary Equipment.** All stationary construction equipment shall be placed (at a minimum of 50 feet from the adjacent residential structures) so that emitted noise is directed away from the nearest sensitive receptors.
 - c. **Equipment Staging Areas.** Equipment staging shall be located in areas that will create the greatest feasible distance between construction-related noise sources and noise-sensitive receptors (at a minimum of 50 feet from the adjacent residential structures).
 - d. **Electrically-Powered Tools and Facilities.** Electrical power shall be used to run air compressors and similar power tools and to power any temporary equipment.
 - e. **Sound Barriers.** Temporary sound barriers shall be installed and maintained by the construction contractor between the construction site and the residences to the west as needed during construction phases with high noise levels. Temporary sound barriers shall consist of either sound blankets capable of blocking approximately 20 dBA of construction noise or other sound barriers/techniques such as acoustic padding or acoustic walls placed near the existing residential buildings to the west of the project site that would reduce construction noise by approximately 20 dBA. Barriers shall be placed such that the line-of-sight between the construction equipment and adjacent sensitive land uses is blocked.
26. Prior to issuance of occupancy permits, the project proponent shall install red curbs at project access points. This shall require the installation of red curb from the west side of the project access on Knob Hill Avenue to five feet west of the westerly side of the rolled curb for the fire lane. The east side of the project access on Knob Hill Avenue shall have ten feet of red curb painted. The project access on Avenue A shall have five feet of red curb on both sides.

27. Prior to issuance of grading permits, sight distance at the project access shall be reviewed with respect to California Department of Transportation/City of Redondo Beach standards in conjunction with the preparation of final grading, landscaping, and street improvement plans. Sight distance analysis shall be subject to review and approval by the Redondo Beach Engineering Division.
28. The applicant shall provide on-site erosion protection for the storm drainage system during construction, to the satisfaction of the Engineering Department.
29. The applicants and/or their successors shall maintain the subject property in a clean, safe, and attractive state until construction commences. Failure to maintain the subject property may result in reconsideration of this approval by the Planning Commission.
30. In the event of a disagreement in the interpretation and/or application of these conditions, the issues shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit. The decision of the Planning Commission shall be final.
31. All on-site litter and debris shall be collected daily.
32. Construction work shall occur only between the hours of 7 a.m. and 6 p.m. on Monday through Friday, between 9 a.m. and 5 p.m. on Saturday, with no work occurring on Sunday and holidays.
33. Material storage on a public street shall not exceed 48 hours per load.
34. The project developer and/or general contractor shall be responsible for counseling and supervising all subcontractors and workers to ensure that neighbors are not subjected to excessive noise, disorderly behavior, or abusive language.
35. Barriers shall be erected to protect the public where streets and/or sidewalks are damaged or removed.
36. Streets and sidewalks adjacent to job sites shall be clean and free of debris.
37. The Planning Division shall be authorized to approve minor changes to any of the Conditions of Approval.
38. In exchange for the City's issuance and/or adoption of the Project Approvals, the Applicant agrees to save, keep, indemnify, hold harmless and defend the City of Redondo Beach (with counsel of City's choice), and its appointed and elected officials, officers, employees, and agents (collectively "City"), from every claim or

demand made, including in particular but not limited to any claims brought seeking to overturn the Project Approvals, whether under the California Environmental Quality Act ("CEQA"), the Coastal Act, the Government Code, Redondo Beach City Charter, or other state or local law, including attorney's fees and costs, and any attorneys' fees or costs which may be awarded to any person or party challenging the Project Approvals on any grounds. In addition, Applicant agrees to save, keep, indemnify, hold harmless and defend the City of Redondo Beach (with counsel of City's choice), and its appointed and elected officials, officers, employees, and agents (collectively "City"), from every liability, loss, damage or expense of any nature whatsoever and all costs or expenses incurred in connection therewith, including attorneys' fees, which arise at any time, by reason of, or in any way related to the City's decision to grant the Project Approvals, or which arise out of the operation of the Applicant's business on the Property; provided, however, that in no case shall the Applicant be responsible for the active negligence of the City."

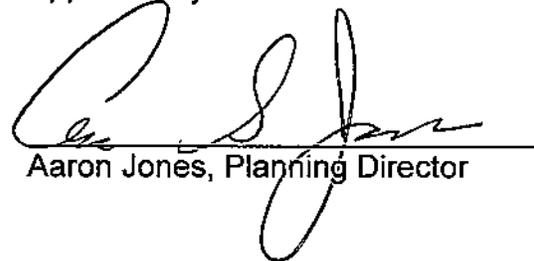
39. That the entitlements granted herein shall exclusively allow for the conditional construction and operation of a Residential Care Facility for the Elderly. Any change in use (e.g. change in operation to provide services other than to the elderly) shall not be permitted and shall not be considered a minor change to the conditionally permitted use.

Submitted by:



Anita Kroeger, Associate Planner

Approved by:



Aaron Jones, Planning Director

Attachments

- A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH RECOMMENDING THAT THE CITY COUNCIL CERTIFY FINAL ENVIRONMENTAL IMPACT REPORT (SCH# 2013121065) FOR THE KENSINGTON ASSISTED LIVING FACILITY ON PROPERTY LOCATED WITHIN THE PUBLIC COMMUNITY FACILITY (P-CF) ZONE AT 320 KNOB HILL AVENUE
- A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH RECOMMENDING THAT THE REDONDO BEACH CITY COUNCIL APPROVE AN AMENDMENT TO THE GENERAL PLAN AS IT RELATES TO POLICIES 1.2.3, 1.2.4, AND 1.46.1 AND OBJECTIVE 1.46 AND AN AMENDMENT TO THE COASTAL LAND USE PLAN AS IT RELATES TO SUBSECTION C AND D OF SECTION VI
- A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH RECOMMENDING THE REDONDO BEACH CITY COUNCIL APPROVE AN AMENDMENT TO THE COASTAL LAND USE PLAN IMPLEMENTING ORDINANCE (TITLE 10, CHAPTER

5 OF THE REDONDO BEACH MUNICIPAL CODE) AS IT RELATES TO SECTIONS 10-5.110 AND 10-5.162

- A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH RECOMMENDING APPROVAL OF A CONDITIONAL USE PERMIT, PLANNING COMMISSION DESIGN REVIEW, COASTAL DEVELOPMENT PERMIT, AND VESTING TENTATIVE PARCEL MAP NO. 72314 FOR THE KENSINGTON ASSISTED LIVING FACILITY ON PROPERTY LOCATED WITHIN THE PUBLIC COMMUNITY FACILITY (P-CF) ZONE AT 320 KNOB HILL AVENUE

- FINAL ENVIRONMENTAL IMPACT REPORT (EIR), October , 2015
 - Volume 1 - Final Environmental Impact Report
 - **Volume 2 – All Appendices (Digital Copy only)**
 - Appendix A – Initial Study
 - Appendix B – Visual Impact Assessment
 - Appendix C – Air Quality and Climate Change Assessment
 - Appendix D – Historical Resource Report
 - Appendix E – Preliminary Geotechnical Engineering Report
 - Appendix F – Standard Urban Stormwater Mitigation Plan / Low Impact Development Plan
 - Appendix G – Phase I Environmental Site Assessment
 - Appendix H - Noise Impact Analysis
 - Appendix H2 – Supplemental Noise Assessment
 - Appendix I - Fire/EMT Response Analysis
 - Appendix J – Traffic Impact Analysis
 - Volume 3 - Response to Comments & Mitigation Measure and Monitoring Report (MMRP)
- Applications
- Full Scale Architectural Drawings including Vesting Tentative Parcel Map
- Preliminary Site Materials
- Customer Origin Analysis, February 25, 2015
- Community Outreach Summary
- Project Related FAQs
- Chamber of Commerce Letter of Support, October 1, 2015

RESOLUTION NO. 2015-10-PCR-016

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH RECOMMENDING THAT THE CITY COUNCIL CERTIFY FINAL ENVIRONMENTAL IMPACT REPORT (SCH# 2013121065) FOR THE KENSINGTON ASSISTED LIVING FACILITY ON PROPERTY LOCATED WITHIN THE PUBLIC COMMUNITY FACILITY (P-CF) ZONE AT 320 KNOB HILL AVENUE (CASE NO. 2015-10-PC-016)

WHEREAS, an application was filed by Fountain Square Development West (Applicant) with respect to an approximately 3.37-acre site located at 320 Knob Hill Avenue, legally described on Exhibit A, which is attached hereto requesting approval of various legislative and related approvals that would allow the development of a two-story, 80,000 square foot assisted living facility with 96 residential suites (maximum 130 beds) to accommodate elderly who have Alzheimer's and other similar conditions; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA) (California Public Resources Code, Division 13, Section 21000, et seq.), the State CEQA Guidelines (Title 14 of the California Code of Regulations, Division 6, Chapter 3, Section 15000, et seq.; "CEQA Guidelines"), and Title 10, Chapter 3 (Environmental Review Pursuant to the California Environmental Quality Act) of the Redondo Beach Municipal Code (RBMC). The Lead Agency prepared an Initial Study pursuant to the requirements of the CEQA Statutes and determined that the proposed project requires an Environmental Impact Report (EIR); and

WHEREAS, the EIR prepared in connection with the Project analyzes the development of the Project and the environmental impacts associated with the development; and

WHEREAS, the primary objectives of the proposed project are to:

- Provide a high quality residential care facility for the elderly which provides a range of services and care for senior citizens (both couples and singles) in a residential environment in South Redondo Beach;
- Implement a project design that embraces the positive physical features of the property and promotes a high quality environment for occupants;
- Provide an on-going source of lease revenue to the Redondo Beach Unified School District from this property to support educational programs; and

WHEREAS, on November 28, 2013, a Notice of Scoping Meeting was published and sent to agencies and residents/property owners within 300 feet of the project site. On December 12, 2013, the City held a public scoping meeting to present the proposed Project and to receive agency and public input regarding concerns related to the environmental effects of the project. Comments received at the meeting were related to aesthetics, air quality, cultural resources, hazards and hazardous materials, noise, public services, transportation and traffic, and utilities and systems; and

WHEREAS, on December 12, 2013, a Notice of Preparation (NOP) of EIR for the Kensington Assisted Living Facility was distributed to city, county, and state agencies, other public agencies, interested private organizations and individuals, and residents/property owners within 300 feet of the project site and published in the Easy Reader. On December 19, 2013 the NOP comment period was extended to January 17, 2014 (or until 30 days after receipt by the public agencies). Nine comment letters were submitted in response to the NOP; and

WHEREAS, on December 19, 2013, fifteen copies of the Initial Study was submitted to the State Clearinghouse for distribution to state agencies and was made available for review on the City's website. The Initial Study is attached as Appendix A of the Draft EIR; and

WHEREAS, pursuant to Section 65352.3 of the California Government Code, the appropriate tribe contacts identified by the Native American Heritage Commission were provided notice of the proposed project on April 2, 2014. The California Government Code requires 90 days to allow tribe contacts to respond to the request to consult unless the tribe contacts mutually agree to a shorter time period. No follow up requests were received by City staff; and

WHEREAS, on June 11, 2015, pursuant to Section 15085 of the State CEQA Guidelines, a Notice of Completion (NOC) was filed with the State Office of Planning and Research (OPR) and the Draft EIR was circulated for a 45-day comment period beginning on June 11, 2015 and ending July 27, 2015; and

WHEREAS, on June 11, 2015, a Notice of Availability (NOA) of the Draft EIR was published in the Easy Reader newspaper. Hard copies of the Draft EIR were located at the City of Redondo Beach City Hall, Planning Division Counter. Electronic Copies of the Draft EIR were sent to responsible agencies, local agencies, and concerned agencies and individuals, as requested. The NOA was also distributed to residents/property owners within 300 feet of the project site. Pursuant to California Code of Regulations Section 13513, all of the state and federal agencies listed in Appendix A of the Local Coastal Program Manual have been notified; and

WHEREAS, on October 15, 2015, the Planning Commission conducted a public hearing in the City Hall Council Chambers, at 415 Diamond Street, Redondo Beach,

California. A notice of the time, place and purpose of the aforesaid meeting was provided in accordance with CEQA and the Redondo Beach Municipal Code (RBMC). The Draft Environmental Impact Report, Draft Responses to Comments, Draft Mitigation, Monitoring and Reporting Program, staff report, and evidence, both written and oral, were presented to and considered by the Planning Commission at the scheduled hearing; and

WHEREAS, the final EIR has been completed in compliance with CEQA; and

WHEREAS, the final EIR was presented to the decision-making body of the lead agency, and that the decision-making body reviewed and considered the information contained in the final EIR prior to approving the project; and

WHEREAS, the final EIR reflects the lead agency's independent judgment and analysis; and

WHEREAS, all of the findings and conclusions made by the Planning Commission pursuant to this Resolution are based upon the oral and written evidence presented to it as a whole and not based solely on the information provided in this Resolution.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH DOES HEREBY FIND AS FOLLOWS:

SECTION 1. ENVIRONMENTAL IMPACTS AND FINDINGS.

1. Pursuant to Public Resources Code § 21081 and CEQA Guidelines §15091, no public agency shall approve or carry out a project for which an EIR has been certified which identifies one or more significant effects on the environment that would occur if the project is approved or carried out unless the public agency makes one or more of the following findings with respect to each significant impact:
 - a. Changes or alterations have been required in, or incorporated into, the project which mitigate or avoid the significant effects on the environment.
 - b. Those changes or alterations are within the responsibility and jurisdiction of another public agency and have been, or can and should be, adopted by that other agency.
 - c. Specific economic, legal, social, technological, or other considerations, including considerations for the provision of employment opportunities for highly trained workers, make infeasible the mitigation measures or alternatives identified in the environmental impact report.

2. The City of Redondo Beach has made one or more of these specific written findings regarding each significant impact associated with the Project. Those findings are presented below, along with a presentation of facts in support of the findings. Concurrent with the adoption of these findings, the City of Redondo Beach adopts the Mitigation Monitoring and Reporting Program.

3. The EIR evaluation included a detailed analysis of impacts in 12 environmental disciplines, analyzing the Project and alternatives, including a No Project Alternative. The EIR discloses the environmental impacts expected to result from the construction and operation of the Project. Where possible, mitigation measures were identified to avoid or minimize significant environmental effects. In addition, the applicant committed to implementing measures in order to reduce the direct and indirect impacts that will result from Project activities. The mitigation measures identified in the EIR are measures proposed by the lead agencies, responsible or trustee agencies or other persons that were not included in the Project but could reasonably be expected to reduce adverse impacts if required as conditions of approving the Project, as required by CEQA Guidelines § 15126.4(a)(1)(A).

Findings on Less than Significant Impacts.

1. Based on the issue area assessment in the EIR, the City of Redondo Beach has determined that the Project will have no impact or less than significant impacts for several issues as summarized in the table below. The rationale for the conclusion that no significant impact would occur in each of the issue areas in the table is based on the discussion of these impacts in the detailed issue area analyses in Sections 4.1 (Aesthetics), 4.2 (Air Quality), 4.4 (Geology and Soils), 4.6 (Hazards and Hazardous Materials), 4.7 (Hydrology and Water Quality), 4.8 (Land Use and Planning), 4.9 (Noise), 4.10 (Public Services), 4.11 (Transportation and Traffic), 4.12 (Utilities and Service Systems) of the EIR and the cumulative impacts discussed in Section 6.0 (Analysis of Long Term Effects) of the EIR that were found to have no impact or less than significant impacts.

Impact	Summary
<i>Aesthetics</i>	
4.1.A 4.1.B	Based on analysis of the visual simulation, impacts to scenic vistas and the existing visual character will be less than significant. Impacts will be less than significant.
4.1.C	The proposed project will not result in impacts related to light, glare, and shade. Impacts will be less than significant.
<i>Air Quality</i>	
4.2.A	The proposed project will not conflict with implementation of the South Coast Air Basin Air Quality Management Plan. Impacts will be less than significant.
4.2.B	Construction and operation of the proposed project will not exceed daily thresholds for criteria pollutants. Impacts will be less than significant.

4.2.C	Construction and operation of the proposed project will not contribute considerably to regional air quality impacts. Impacts will be less than significant.
4.2.D	The project will not result in the exposure of local receptors to excessive particulate matter emissions. Impacts will be less than significant.
4.2.E	The proposed project will not create objectionable odors affecting a substantial number of people. Impacts will be less than significant.
<i>Geology and Soils</i>	
4.4.A 4.4.B	The project site is not located on a geologic unit or soil that is unstable or subject to lateral spreading, subsidence or collapse. Impacts will be less than significant.
<i>Hazards and Hazardous Materials</i>	
4.6.A	The proposed project will not create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials and medical waste. Impacts will be less than significant.
4.6.B	The project will not create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. Impacts will be less than significant.
<i>Hydrology and Water Quality</i>	
4.7.A 4.7.B	The proposed assisted living facility would not increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site, exceed the capacity of existing or planned drainage systems, or provide substantial additional sources of polluted runoff. Impacts would be less than significant.
<i>Land Use and Planning</i>	
4.8.A	The proposed project would not be consistent with the existing General Plan, Coastal Land Use Plan, or the Coastal Zoning. However, this inconsistency would not result in any new physical changes to the environment not already analyzed as part of the proposed project. Furthermore, the project includes proposed text amendments to the General Plan, Coastal Zoning Ordinance, and Local Coastal Land Use Plan, with implementation of these amendments the proposed project would not conflict with any land use plan, policy, or regulation. Impacts would be less than significant.
<i>Noise</i>	
4.9.A	The proposed project would not expose people to or generate noise levels in excess of applicable standards. Impacts would be less than significant.
4.9.B	The proposed project would not expose people or generate excessive groundborne vibration or groundborne noise levels.
4.9.C	The proposed project would not result in a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project and in excess of the City's standards.
4.9.D	The proposed project would not result in substantial temporary increases in noise due to construction activities or substantial periodic increases in ambient noise levels in the project vicinity above levels existing without the project and in excess of the City's standards. Impacts would be less than significant.
<i>Public Services</i>	
4.10.A	The proposed project would not result in the need for new or physically altered fire protection facilities. Impacts will be less than significant.
4.10.B	The proposed project would not require the construction or expansion of police facilities to maintain acceptable service ratios, response times, or other performance objectives.

	Impacts to police protection services will be less than significant.
4.10.C	The proposed project would not require construction of a new school or facility or expansion of an existing school facility. There will be no impact.
<i>Transportation and Traffic</i>	
4.11.A	Short- and long-term impacts on the performance of the local and regional transportation system due to increased traffic generated from the proposed project after consideration of cumulative traffic increase would be less than significant. The proposed project would not conflict with an applicable plan, ordinance, or policy establishing measures of effectiveness for the performance of the circulation system.
4.11.B	The proposed project would not conflict with the Los Angeles County Congestion Management Program; therefore impacts would be less than significant.
4.11.C	The proposed project would not substantially increase hazards due to a design feature or incompatible uses and would not result in parking impacts. Impacts would be less than significant.
4.11.D	The proposed project would not conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities. Impacts would be less than significant.
<i>Utilities and Service Systems</i>	
4.12.A	The proposed project would not require the construction of new wastewater treatment facilities or the expansion of existing facilities. Impacts would be less than significant.
4.12.B	The proposed project would not require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects. Impacts would be less than significant.
4.12.C	The wastewater treatment provider would have adequate capacity to serve the project's projected demand. Impacts would be less than significant.
4.12.D	Area landfills have sufficient capacity to serve the proposed project's solid waste disposal needs. Impacts would be less than significant.

Findings on Significant Environmental Impacts That Can Be Reduced to a Less than Significant Level

The City of Redondo Beach finds that the following environmental impacts can and will be mitigated to below a level of significance based upon the implementation of the mitigation measures in the EIR. These findings are based on the discussion of impacts in the detailed issue area analyses in Sections 4.3 (Cultural Resources) and 4.5 (Greenhouse Gas Emissions) of the EIR and the cumulative impacts discussed in Section 6.0 (Analysis of Long Term Effects) of the EIR. An explanation of the rationale for each finding is presented below.

- **Cultural Resources**

Impact 4.3.A: The proposed assisted living facility would not cause a substantial adverse change in the significance of a historical resource with implementation of mitigation.

The proposed project includes the demolition of nine of the ten existing on-site structures. Building A, located at the northwestern portion of the project site is proposed to be renovated as part of the project. The community has expressed concern that this

structure may be historic; therefore, the structure was analyzed for the potential to exhibit any of the characteristics defined in CEQA Guidelines Section 15064.5.

Although the project site is not currently designated under any national, state, or local landmark programs, the Historical Resource Report (Appendix D of the Draft EIR) determined that the 2,600 square foot kindergarten building (Building A) meets the criteria as a “historical resource” for the purposes of CEQA. The Spanish Colonial revival kindergarten building was constructed in approximately 1929 and was later rehabilitated in 1953. The building appears eligible for listing in the National Register at the local level, for the California Register, or for designation as a City of Redondo Beach Landmark for its association with the early educational development of Redondo Beach. The site as a whole does not qualify as a potential historic district. Building A is therefore an individual historical resource. None of the other buildings (Buildings B through J) have been determined to be a historic resource. The project proposes to retain and renovate the existing 1929 Kindergarten building on site as part of the development project. Because the building is eligible for historic designation, all proposed significant alterations outside of normal repair of maintenance could affect the historic characteristics of the structure, consequently impacts are considered significant without mitigation. Mitigation Measure 4.3.A-1 requires that any alteration must be in compliance with the Secretary of the Interior’s Guidelines for Treatment of Historic Resources, and requires the applicant to submit any plans to alter/renovate the structure to the Preservation Commission, pursuant to Redondo Beach Municipal Code Section 10-4.501. With implementation of Mitigation Measure 4.3.A-1, impacts related to the renovation or rehabilitation of the existing Kindergarten building will be less than significant.

Finding. The City of Redondo Beach finds that changes or alterations have been incorporated into the Project which mitigate significant effects on the environment from Impact 4.3.A. Specifically, the following mitigation measure is feasible and is adopted to mitigate significant effects from Impact 4.3.A to a less than significant level.

4.3.A-1 Prior to issuance of building permits for the Kindergarten building, the applicant shall submit renovation/rehabilitation plans for the existing Kindergarten building showing compliance with the Secretary of the Interior’s Standards for Treatment of Historic Properties and the associated Guidelines. These plans shall be submitted for review and approval by the City of Redondo Beach Preservation Commission pursuant to Redondo Beach Municipal Code Section 10-4.501

Rationale for Finding. Implementation of Mitigation Measure 4.3.A-1 will significantly reduce the Project’s impacts on a historical resource, including cumulative impacts, to a less than significant level by ensuring that renovation/rehabilitation of the resource is compliant with the Secretary of the Interior’s Standards for Treatment or Historic Properties and the associated Guidelines. Such mitigation is hereby adopted for this Project. Therefore, impacts will be less than significant with mitigation.

Reference. EIR Section 4.3 (Cultural Resources)

- **Greenhouse Gas Emissions**

Impact 4.5.A: The proposed project would directly or indirectly generate greenhouse gas emissions that may have a significant impact on the environment. Impacts would be less than significant with incorporation of mitigation.

Construction and operation of the Project would result in a total of 775.16 metric tons of carbon dioxide equivalent (MTCO₂E), which is below SCAQMD's interim threshold of 3,000 MTCO₂E per year for residential and commercial projects. However, Pursuant to AB 32, to determine if the Project will contribute significant to climate change impacts, a performance standard of a 15 percent reduction under business as usual (BAU) levels was also utilized in the Draft EIR.

With implementation of project design features and regulatory requirements such as encouraging trip reduction through preferential parking, availability of secured bicycle storage, and display of transit timetables, use of energy efficient appliances, use of low flow fixtures, water efficient landscaping, and solid waste recycling, emissions would be reduced by 10.8 percent. Because reductions will not meet the minimum 15 percent reduction standard, Mitigation Measures 4.5.A-1 and 4.5.A-2 have been incorporated.

Mitigation Measure 4.5.A-1 requires that project design exceed 2013 Title 24 efficiency standards by five percent, which equates to approximately a 28.3 percent exceedance of 2008 Title 24 standards. In addition, generation of renewable energy will be required. Mitigation Measure 4.5.A-2 requires that a solar system producing a minimum of 46,975 kWh per year be installed. Mitigation Measure 4.5.A-2 requires that the maximum amount of solar power be generated on site via a roof-top solar system. The remainder of the required solar power may be generated by augmenting the solar installations. With implementation of Mitigation Measures 4.5.A-1 and 4.5.A-2, the emissions will be reduced by 15.2 percent. Therefore, impact 4.5.A-1 will be less than significant with mitigation.

Finding. The City of Redondo Beach finds that changes or alterations have been incorporated into the Project which mitigate significant effects on the environment from Impact 4.5.A. Specifically, the following mitigation measures are feasible and are adopted to mitigate significant effects from Impact 4.5.A to a less than significant level.

4.5.A-1 Prior to issuance of building permits, the project proponent shall submit, for review and approval by the Planning Department, building plans demonstrating an additional five percent energy efficiency above 2013 Title 24 efficiency standards, which equates to a 28.3 percent exceedance of 2008 Title 24 efficiency standards.

4.5.A-2 Prior to issuance of building permits, the project proponent shall submit, for review and approval by the Redondo Beach Planning Department, construction drawings identifying the installation of a solar system producing a minimum of 46,975 kilowatt hours per year. Prior to the

issuance of a certificate of occupancy the project proponent shall construct and operate the maximum amount of solar power possible on the proposed project rooftop (not to exceed 46,975 kilowatt hours per year). The remainder of the required 46,975 annual kilowatt hours shall be constructed by the project proponent on any RBUSD property or anywhere else on the project site prior to the issuance of a certificate of occupancy. If the project proponent plans on constructing any part of the solar system on off-site RBUSD property, the project proponent shall submit plans for review and approval to the RBUSD prior to issuance of building permits.

Rationale for Finding. Implementation of Mitigation Measures 4.5.A-1 and 4.5.A-2 will significantly reduce the Project's impacts related to greenhouse gas emissions, including cumulative impacts, to a less than significant level by requiring an additional five percent energy efficiency above 2013 Title 24 efficiency standards and the installation of a solar system. Such mitigation is hereby adopted for this Project. Therefore, impacts will be less than significant with mitigation.

Reference. EIR Section 4.5 (Greenhouse Gas Emissions)

Findings on Significant Environmental Impacts That Cannot Be Avoided or Reduced to a Less than Significant Level

Based on the issue area assessment in the EIR, the City of Redondo Beach has determined that the Project will not have significant impacts that cannot be avoided or reduced despite the incorporation of all feasible mitigation measures.

SECTION 2. FINDINGS ON PROJECT ALTERNATIVES.

Alternatives Screened Out from Detailed Consideration in the EIR

The City of Redondo Beach finds that all of the alternatives eliminated from further consideration in the Draft EIR are infeasible, would not meet most project objectives and/or would not reduce or avoid any of the significant effects of the proposed project, for the reasons detailed in Section 5 (Alternatives) of the EIR.

Alternatives Analyzed in the EIR

- Alternative 1 – No Project

According to Section 15126.6(e)(2) of the CEQA Guidelines, the evaluation of alternatives in an EIR shall include a no project scenario, defined as “. . . what is reasonably expected to occur in the foreseeable future if the project were not approved, based on current plans and consistent with available infrastructure and community services.” Alternative 1 would consist of continued operation of existing on-site

administrative/governmental offices and special education uses and no redevelopment of the site would occur (consistent with both CEQA Guidelines Sections 15126.6(e)(3)(A) and (B)). It also would not include the proposed amendments to the General Plan, Zoning Code, and Coastal Land Use Plan

- Alternative 2 – Alternative Locations

Alternative properties were examined throughout the jurisdiction to identify potential alternative locations for the project. Individual parcels and assemblages of parcels were examined. This alternative assumes that the scale and operational characteristics of the proposed assisted living facility would remain the same; therefore, an alternative location must consist of approximately 3.37 acres to support the facility and associated parking and landscaping. Alternative locations are considered to reduce or avoid potential immediate impacts around the project site. Upon examination of alternative parcels in Redondo Beach, no parcels or assemblages of parcels were of sufficient size to support the proposed project. In addition, development of the proposed project on an alternative parcel would not avoid or reduce any physical impacts, but would transfer them to an alternate location. Therefore, this alternative would not reduce or avoid impacts and is not considered further in this analysis.

- Alternative 3 – Reduced Intensity

The reduced intensity alternative would not reduce the size of the proposed building. This alternative would reduce the number of beds of the proposed facility by 50 percent to serve a maximum of 65 residents. This alternative assumes that the total square footage of the proposed project site and the general plan, zoning code, and coastal land use plan text amendments would remain as proposed.

- Alternative 4 – Park Development/Cultural Institution

Alternative 4 consists of a park development and Cultural Institution consistent with the Public Community Facilities (P-CF) land use designation. This designation provides for public uses including parks, open space, and recreational facilities. The project site could accommodate a park with ball courts and fields, and paths as well as a Cultural Institution, such as a museum or art gallery. This alternative assumes that the kindergarten building located at the northwestern corner of the project site would remain and be renovated for community use, similar to the proposed project.

Finding/Rationale: The EIR determined that Alternative 4 would be environmentally superior to the Project being approved. However, the City of Redondo Beach finds that this alternative is infeasible for specific economic, legal, social, technological, or other reasons and rejects this alternative. Specifically, Alternative 4 would not provide a high quality residential care facility for the elderly which provides a range of services and care for senior citizens in a residential environment in South Redondo Beach. In

addition, the Project as proposed would provide a greater on-going source of lease revenue to the Redondo Beach Unified School District (District), which would support educational programs elsewhere within the District. Development of Alternative 4 would result in less revenue for the District, and therefore would limit the funds available to support educational programs within the District. Further, development of a public park would require resources for proper maintenance. Given the current drought conditions, the development of a public park with greater amounts of landscaping, specifically turf, would not be a sustainable option in terms of resource conservation. Lastly, the project site is under ownership of the District and as the property owner, the District is in support of the development of the Kensington Assisted Living Facility. Therefore, the City of Redondo Beach rejects Alternative 4.

SECTION 3. FINDINGS ON RESPONSES TO COMMENTS ON THE DRAFT EIR AND REVISIONS TO THE FINAL EIR.

Volume 3 of the EIR includes the comments received on the Draft EIR and responses to those comments. The focus of the responses to comments is on the disposition of significant environmental issues as raised in the comments, as specified by CEQA Guidelines § 15088(b). The City of Redondo Beach finds that responses to comments made on the Draft EIR and revisions to the Final EIR merely clarify and amplify the analysis presented in the document and do not trigger the need to re-circulate per CEQA Guidelines §15088.5(b).

SECTION 4. CUSTODIAN OF RECORDS.

The documents and other materials that constitute the record of proceedings on which the Project findings are based are located at the City of Redondo Beach Planning Division, 415 Diamond Street, Redondo Beach, California 90277. The custodian for these documents is the Planning Division. This information is provided in compliance with Public Resources Code §21081.6(a)(2) and CEQA Guidelines §15091(e).

SECTION 5. STATEMENT OF OVERRIDING CONSIDERATION DECISION.

There were no significant and unavoidable impacts identified in the EIR therefore Statement of Overriding Considerations is not required.

FINALLY RESOLVED, that the Planning Commission forward a copy of this resolution to the City Council so the City Council will be informed of the action of the Planning Commission.

PASSED, APPROVED, AND ADOPTED this 15th day of October, 2015.

Nicholas Biro, Chair
Planning Commission
City of Redondo Beach

ATTEST:

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS
CITY OF REDONDO BEACH)

I, Aaron Jones, Community Development Director of the City of Redondo Beach, California, do hereby certify that the foregoing Resolution No. 2015-10-PCR-016 was duly passed, approved and adopted by the Planning Commission of the City of Redondo Beach, California, at a regular meeting of said Planning Commission held on the 15th day of October, 2015, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Aaron Jones
Community Development Director

APPROVED AS TO FORM:

City Attorney's Office

ESOLUTION NO. 2015-10-PCR-017

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH RECOMMENDING THAT THE REDONDO BEACH CITY COUNCIL APPROVE AN AMENDMENT TO THE GENERAL PLAN AS IT RELATES TO POLICIES 1.2.3, 1.2.4, AND 1.46.1 AND OBJECTIVE 1.46 AND AN AMENDMENT TO THE COASTAL LAND USE PLAN AS IT RELATES TO SUBSECTION C AND D OF SECTION VI (CASE NO. 2015-10-PC-016)

WHEREAS, an application was filed by Fountain Square Development West and the Redondo Beach Unified School District (Applicant) requesting approval to construct a two-story, 80,000-square-foot assisted living facility with 96 residential suites (maximum 130 beds) to accommodate elderly who have Alzheimer's and other similar conditions; and

WHEREAS, the proposed project includes text amendments to the General Plan and the Local Coastal Program (including the Coastal Land Use Plan and its Implementing Ordinance) since the current zoning does not permit residential care facilities to operate on property located within the coastal zone; and

WHEREAS, the property is currently located within the Coastal Zone and has a Coastal Land Use Plan designation of Public or Institutional (P); and

WHEREAS, The proposed text amendments provides the legislative framework that would allow the development of a residential care facility for the elderly (RCFE) within the Coastal Zone on Public-Community Facility (P-CF) zoned lots over one acre in size; and

WHEREAS, text amendments are also being proposed for General Plan Land Use (1) Policies 1.2.3 and 1.2.4 contained in Section 2.1.4, and (2) Objective 1.46 and Policy 1.46.1 under "PUBLIC AND INSTITUTIONAL USES" to allow the development of non-governmental facilities on property designated as "P" that would provide funding for education services elsewhere; and

WHEREAS, the requested text amendments to the General Plan and Local Coastal Program amendments will not become effective until approved by the City Council, California Coastal Commission (only the LCP amendments are subject to Coastal Commission certification), and approved by the City of Redondo Beach residents via public election pursuant to Article 27 of the City Charter; and

WHEREAS, together, the requested discretionary actions constitute a project that is subject to review under the California Environmental Quality Act (CEQA). An Initial Study was prepared pursuant to the requirements of the CEQA Statutes and determined that the proposed project requires an Environmental Impact Report (EIR); and

WHEREAS, on June 11, 2015, the City issued a Notice of Availability, which notified the public of the review and comment period of the Draft EIR. This notice also noted the availability of the proposed General Plan and Local Coastal Program amendments, and provided notice related to the Conditional Use Permit, the Coastal Development Permit, Planning Commission Design Review, and the Tentative Tract Map; and

WHEREAS, the City also made the proposed Local Coastal Program amendments available for review at the City's Planning Department, at the Redondo beach Public Library, electronically (included in the DEIR), and available at the Coastal Commission's offices, consistent with Tit. 14, Cal. Code Regs. § 13515 and RBMC §§ 10-5.2504(j) and 10-5.2238.); and

WHEREAS, in accordance with CEQA Guidelines Section 15025 (c) the Planning Commission reviewed and considered the Environmental Impact Report (SCH# 2013121065); and

WHEREAS, on October 15, 2015, the Planning Commission of the City of Redondo Beach reviewed and considered the General Plan Amendment, the Local Coastal Program Amendment (including the Coastal Land Use Plan, and the Coastal Zoning), the EIR, , Conditional Use Permit, Coastal Development Permit, Planning Commission Design Review, and Tentative Vesting Parcel Map; and

WHEREAS, all of the findings and conclusions made by the Planning Commission pursuant to this Resolution are based upon the oral and written evidence presented to it as a whole and not based solely on the information provided in this Resolution.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission hereby finds that the above recitals are true and correct, and are incorporated herein by reference as if set forth in full.

SECTION 2. The Planning Commission hereby recommends that the City Council amend Redondo Beach General Plan Land Use Element as provided below. New text amendments contained in this resolution are shown with **bold underlined text**; deletions are shown in ~~stricken text~~; where existing intervening text, subsections, or sections have been omitted from this resolution and are not specifically deleted, these shall not be considered amended or deleted and should therefore be considered retrained in their current state (such language may be displayed as "...")

Land Use Element

2.1.4 Goals, Objectives, and Policies

...

RESIDENT-SERVING LAND USES

...

Policies It shall be the policy of the City of Redondo Beach to:

...

1.2.3 Allow for the development of housing types intended to meet the special needs of senior citizens, the physically challenged, and low and moderate income households in areas classified as Multi-Family Residential (“R-2,” “R-3,” “RMD,” and “RH”), Mixed Use (“MU-1,” “MU-2,” and “MU-3”), Commercial Regional (“CR”), and Public or Institutional (where Public or Institutional is located in the “P-CF” zone – and where, in the P-CF zone only senior housing classified as Residential Care Facilities for the Elderly (RCFE) over one acre in the Coastal Zone) on the Land Use Plan map provided that they are designed to be compatible with adjacent residential structures and other areas designated for other categories of use provided that no substantial adverse impacts will occur (11.1).

1.2.4 Allow for the development of housing for senior citizens by permitting such housing to vary from the development standards in the zone in which it is located (subject to approval of a Conditional Use Permit and Planning Commission Design Review) in areas classified as Multi-Family Residential (“R-3,” “RMD,” and “RH”), Commercial (“C-2,” “C-3” and “C-4”), Mixed Use (“MU-1,” “MU-2,” and “MU-3”), Commercial Regional (“CR”), and Public or Institutional (where Public or Institutional is located in the “P-CF” zone – and where, in the P-CF zone, only senior housing classified as Residential Care Facilities for the Elderly (RCFE) over one acre in the Coastal Zone) on the Land Use Plan map provided that a) it is appropriate at the proposed location; b) it is located within a reasonable walking distance of commercial retail, professional, and social and community services patronized by senior citizens, or has its own private shuttle bus that will provide daily access to these services, or be within a reasonable walking distance of a bus or transit stop providing access to these services; and c) the project includes units affordable to lower-income or moderate-income households to the extent feasible.

...

PUBLIC AND INSTITUTIONAL USES

...

Objective It shall be the objective of the City of Redondo Beach to:

- 1.46 Provide for the continuation of existing and expansion of governmental administrative and capital, recreation, public safety, human service, cultural and educational, infrastructure, and other public land uses and facilities to support the existing and future population and development of the City **and facilities that provide funding for education services elsewhere.**

Policies *It shall be the policy of the City of Redondo Beach to:*

- 1.46.1 Accommodate governmental administrative and maintenance facilities, parks and recreation, public open space, police, fire, educational (schools), cultural (libraries, museums, performing and visual arts, etc.), human health, human services, public utility and infrastructure (transmission corridors, etc.), public and private secondary uses, and other public uses in areas designated as “P” **and facilities that provide funding for education services elsewhere.**

...

SECTION 3. The Planning Commission hereby recommends that the City Council amend Redondo Beach Coastal Land Use Plan as provided below. New text amendments contained in this resolution are shown with **bold underlined text** (some existing text is shown in non-bold underlining); deletions are shown in ~~stricken text~~; where existing intervening text, subsections, or sections have been omitted from this resolution and are not specifically deleted, these shall not be considered amended or deleted and should therefore be considered retained in their current state.

- VI. Location and Planning New Development
 - A. Subareas
 7. Subarea #7

~~Public Facility — The elementary school, Patterson, is located at the northerly border of the subarea. The school currently contains grade levels kindergarten through 6.~~

Institutional/Public – Community Facility – The Redondo Beach Unified School District owned property located at the northerly border of the subarea.

- C. Proposed Land Use Classifications
 - Public or Institutional

3. **Community facilities, governmental facilities, and public safety facilities:** These include the Civic Center (City Hall, Public Library, and Police Station) at Diamond Street and Pacific Coast Highway, the fire station at S. Broadway and Pearl Street, and the ~~Recreation and Community~~

~~Services Center~~ **Redondo Beach Unified School District owned property** at Knob Hill and Pacific Coast Highway. Permitted uses include parks and open space, and uses which may be considered subject to a Conditional Use Permit include cultural uses (libraries, museums, etc.), institutional uses (governmental, police, fire, etc.), community centers, public athletic clubs, performance art facilities, educational facilities, child day care centers, **Residential Care Facilities for the Elderly (RCFE)**, schools, parking lots, and similar public or institutional uses. For the Civic Center, the maximum floor area ratio of all buildings on the site is 1.25 and the maximum height is three stories, 45 feet. The floor area ratio and height of buildings at other community facility/governmental facility/public safety facility sites will be determined as part of the required public hearing process for any proposed new building.

D. Land Use Policies

14. Allow for the development of housing for senior citizens in Area 1 of the Coastal Zone by permitting such housing to vary from the limits on height, density, floor area and number of stories, the requirements for upper level setbacks, required percentage of commercial frontage and the parking standards in the zone in which it is located (subject to approval of Conditional Use Permit and Planning Commission Design Review) in areas classified as Multi-Family Residential (“R-3”, “RMD”, and “RH”), and Mixed-Use (“MU”) on the Coastal Land Use Plan Map, and on lots classified Commercial (“C-2”, “C-3”, and “C-4”) on the Coastal Land Use Plan Map, that are also located north of Knob Hill Avenue, adjacent to Pacific Coast Highway, **and on lots classified Public-Community Facility (“P-CF” – and where, in the P-CF zone, only senior housing classified as Residential Care Facilities for the Elderly (RCFE) over one acre)** provided that:

SECTION 4. That the Planning Commission forward a copy of this resolution to the City Council so the Council will be informed of the action of the Planning Commission.

PASSED, APPROVED, AND ADOPTED this 15th day of October, 2015.

Nicholas Biro, Chair
Planning Commission
City of Redondo Beach

ATTEST:

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS
CITY OF REDONDO BEACH)

I, Aaron Jones, Community Development Director of the City of Redondo Beach, California, do hereby certify that the foregoing Resolution No. 2015-10-PCR-017 was duly passed, approved and adopted by the Planning Commission of the City of Redondo Beach, California, at a regular meeting of said Planning Commission held on the 15th day of October, 2015, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Aaron Jones
Community Development Director

APPROVED AS TO FORM:

City Attorney's Office

RESOLUTION NO. 2015-10-PCR-018

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH RECOMMENDING THE REDONDO BEACH CITY COUNCIL APPROVE AN AMENDMENT TO THE COASTAL LAND USE PLAN IMPLEMENTING ORDINANCE (TITLE 10, CHAPTER 5 OF THE REDONDO BEACH MUNICIPAL CODE) AS IT RELATES TO SECTIONS 10-5.110 AND 10-5.1624 (CASE NO. 2015-10-PC-016)

WHEREAS, an application was filed by Fountain Square Development West and the Redondo Beach Unified School District (Applicant) requesting approval to construct a two-story, 80,000-square-foot assisted living facility with 96 residential suites (maximum 130 beds) to accommodate elderly who have Alzheimer's and other similar conditions; and

WHEREAS, the proposed project includes text amendments to Title 10, Chapter 5 of the Redondo Beach Municipal Code since the current zoning does not permit residential care facilities to operate on property located within the coastal zone; and

WHEREAS, the property is currently located within the Coastal Zone and has a Coastal Land Use Plan designation of Public or Institutional (P); and

WHEREAS, The proposed text amendments provides the legislative framework that would allow the development of a residential care facility for the elderly (RCFE) within the Coastal Zone on Public-Community Facility (P-CF) zoned lots over one acre in size subject to a Conditional Use Permit; and

WHEREAS, the requested amendments to the Zoning Ordinance (Title 10, Chapter 5 of the Redondo Beach Municipal Code) will not become effective until approved by the City Council, California Coastal Commission (only the LCP amendments are subject to Coastal Commission certification) and approved by the City of Redondo Beach residents via public election pursuant to Article 27 of the City Charter; and

WHEREAS, together, the requested discretionary actions constitute a project that is subject to review under the California Environmental Quality Act (CEQA). An Initial Study was prepared pursuant to the requirements of the CEQA Statutes and determined that the proposed project requires an Environmental Impact Report (EIR); and

WHEREAS, on June 11, 2015, the City issued a Notice of Availability, which notified the public of the review and comment period of the Draft EIR. This notice also noted the availability of the proposed General Plan and Local Coastal Program amendments, and provided notice related to the Conditional Use Permit, the Coastal Development Permit, Planning Commission Design Review, and the Tentative Tract Map; and

WHEREAS, the City also made the proposed Local Coastal Program amendments available for review at the City’s Planning Department, at the Redondo beach Public Library, electronically (included in the DEIR), and available at the Coastal Commission’s offices, consistent with Tit. 14, Cal. Code Regs. § 13515 and RBMC §§ 10-5.2504(j) and 10-5.2238.); and

WHEREAS, in accordance with CEQA Guidelines Section 15025 (c) the Planning Commission reviewed and considered the Environmental Impact Report (SCH# 2013121065); and

WHEREAS, on October 15, 2015, the Planning Commission of the City of Redondo Beach reviewed and considered the Coastal Land Use Plan Zoning Ordinance Amendment (Title 10, Chapter 5 of the Redondo Beach Municipal Code), , General Plan Amendment, Coastal Land Use Plan Amendment, Conditional Use Permit, Coastal Development Permit, Planning Commission Design Review, and Tentative Vesting Parcel Map; and

WHEREAS, all of the findings and conclusions made by the Planning Commission pursuant to this Resolution are based upon the oral and written evidence presented to it as a whole and not based solely on the information provided in this Resolution.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission hereby finds that the above recitals are true and correct, and are incorporated herein by reference as if set forth in full.

SECTION 2. The Planning Commission hereby recommends that the City Council amend Title 10, Chapter 5, Section 10-5.1110 and 10-5.1624 of the Redondo Beach Municipal Code as provided below. New text amendments contained in this resolution are shown with **bold underlined text**; deletions are shown in ~~stricken text~~; where existing intervening text, subsections, or sections have been omitted from this resolution and are not specifically deleted, these shall not be considered amended or deleted and should therefore be considered retrained in their current state (such language may be displayed as “...”)

Chapter 5 Coastal Land Use Plan Implementing Ordinance
 Section 10-5.1110 Land use regulations: P-CIV Civic Center zone, P-RVP Riviera Village parking zone, P-GP generating plant zone, P-ROW right-of-way zone, P-CF community facility zone, and P-PRO parks, recreation, and open space zone.

Use Classification	P-CIV	P-RVP	P-GP	P-ROW	P-CF	P-PRO	Additional Regulations See Section:
Public and Other Uses							
Parks, parkettes, open space, recreational facilities, beaches, and coastal bluffs	P	P	P	P	P	P	10-5.1111(a), 10-5.1111(b), 10-5.1111(c)

Public buildings in parks, recreation areas, open space areas, and beaches	C	C	C	C	C	C	10-5.1111(a), 10-5.1111(b), 10-5.1111(c)
Adult education centers	--	--	--	--	C	--	
Agricultural and horticultural uses	C	--	--	C	C	C	10-5.1111(a), 10-5.1111(c)
Child day care centers	C	--	--	--	C	C	10-5.1111(a), 10-5.1111(c)
Community centers	C	--	--	--	C	C	10-5.1111(a), 10-5.1111(c)
Cultural institutions	C	--	--	--	C	C	10-5.1111(a), 10-5.1111(c)
Government maintenance facilities	C	--	--	--	C	C	10-5.1111(a)
Government offices	C	--	--	--	C	C	10-5.1111(a), 10-5.1111(c)
Public gymnasiums and athletic clubs	C	--	--	--	C	C	10-5.1111(a), 10-5.1111(c)
Hospitals	--	--	--	--	C	--	
Medical offices and health-related facilities	--	--	--	--	C	--	
Nurseries, wholesale and retail	C	--	--	C	C	C	10-5.1111(a), 10-5.1111(c)
Performance art facilities	C	--	--	--	C	C	10-5.1111(a), 10-5.1111(c)
Parking lots	C	C	--	C	C	C	10-5.1111(a), 10-5.1111(c)
Public safety facilities	C	--	--	--	C	C	10-5.1111(a), 10-5.1111(c)
Public utility facilities	C	C	C	C	C	C	10-5.1614, 10-5.1111(a), 10-5.1111(c)
Schools, public and private	--	--	--	--	C	--	
Accessory uses/structures	P	P	--	P	P	P	10-5.1111(b), 10-5.1111(c)
<u>Residential Care Facilities for the Elderly (RCFE)</u>	==	==	==	==	<u>C*</u>	==	<u>10-5.1111(c), 10-5.1116, 10-5.1624</u>
* <u>on properties over one acre</u>							

...

10-5.1624 Housing for senior citizens

...

(c)...(1) **Zones where permitted by Conditional Use Permit.** Housing for senior citizens may be considered in Area 1 of the Coastal Zone in the R-3A, RMD, and RH multiple-family residential zones, in commercially zoned lots fronting Pacific Coast Highway that are also located north of Knob Hill Avenue and in all mixed-use zones. **Residential Care Facilities for the Elderly may be considered in the Coastal Zone in Public-Community Facility (P-CF) zoned lots over one acre.**

SECTION 4. That the Planning Commission forward a copy of this resolution to the City Council so the Council will be informed of the action of the Planning Commission.

PASSED, APPROVED, AND ADOPTED this 15th day of October, 2015.

Nicholas Biro, Chair
Planning Commission
City of Redondo Beach

ATTEST:

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS
CITY OF REDONDO BEACH)

I, Aaron Jones, Community Development Director of the City of Redondo Beach, California, do hereby certify that the foregoing Resolution No. 2015-10-PCR-018 was duly passed, approved and adopted by the Planning Commission of the City of Redondo Beach, California, at a regular meeting of said Planning Commission held on the 15th day of October, 2015, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Aaron Jones
Community Development Director

APPROVED AS TO FORM:

City Attorney's Office

RESOLUTION NO. 2015-10-PCR-019

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH CONDITIONALLY APPROVING A CONDITIONAL USE PERMIT, PLANNING COMMISSION DESIGN REVIEW, COASTAL DEVELOPMENT PERMIT, AND VESTING TENTATIVE PARCEL MAP NO. 72314 FOR THE KENSINGTON ASSISTED LIVING FACILITY ON PROPERTY LOCATED WITHIN THE PUBLIC COMMUNITY FACILITY (P-CF) ZONE AT 320 KNOB HILL AVENUE (CASE NO. 2015-10-PC-019)

WHEREAS, an application was filed by Fountain Square Development West (Applicant) with respect to an approximately 3.37-acre site located at 320 Knob Hill Avenue, legally described on Exhibit A, which is attached hereto requesting approval of various legislative and related approvals that would allow the development of a two-story, 80,000 square foot assisted living facility with 96 residential suites (maximum 130 beds) to accommodate elderly who have Alzheimer's and other similar conditions; and

WHEREAS, the conditional approval of a Conditional Use Permit, Planning Commission Design Review, Coastal Development Permit, and Vesting Tentative Parcel Map for the project is contingent upon the City Council's approval of the corresponding General Plan Amendments and the Local Coastal Program Amendments (which include the Coastal Zoning and Land Use Plan Amendments) to conditionally allow residential care facilities for the elderly on the subject property. Thereafter and subject to City Council approval, the General Plan and Local Coastal Program amendments (collectively referenced as the legislative amendments) must be approved by the California Coastal Commission (LCP only) and approved by the City of Redondo Beach residents via public election pursuant to Article 27 of the City Charter before these entitlements become effective; and

WHEREAS, Article XXVII, Section 27.5(b) of the City Charter allows the City to conditionally approve discretionary permits for projects which are dependent upon subsequent legislative amendments.

WHEREAS, together, the requested discretionary actions constitute a project that is subject to review under the California Environmental Quality Act (CEQA). An Initial Study was prepared pursuant to the requirements of the CEQA Statutes and determined that the proposed project requires an Environmental Impact Report (EIR); and

WHEREAS, in accordance with CEQA Guidelines Section 15025 (c) the Planning Commission reviewed and considered the Environmental Impact Report (SCH# 2013121065) and Mitigation Monitoring and Reporting Program; and

WHEREAS, on October 15, 2015, the Planning Commission of the City of Redondo Beach reviewed and considered the Conditional Use Permit, Coastal Development Permit, Planning Commission Design Review, and Tentative Vesting

Parcel Map, including the EIR, General Plan Amendment and Local Coastal Program (LCP) Amendment; and

WHEREAS, all of the findings and conclusions made by the Planning Commission pursuant to this Resolution are based upon the oral and written evidence presented to it as a whole and not based solely on the information provided in this Resolution.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH, CALIFORNIA, DOES HEREBY FIND AS FOLLOWS:

1. The recitals above are true and correct and incorporated herein by reference as if set forth in full.
2. In accordance with Section 10-5.2506(b) of the Redondo Beach Municipal Code, a Conditional Use Permit is in accord with the criteria set forth therein for the following reasons:
 - a) With the approval of the proposed amendments to the General Plan and Local Coastal Program, the proposed use is permitted in the land use district in which the site is located, and the site is adequate in size and shape to accommodate the use and all yards, open spaces, walls, and fences, parking, landscaping and other features, and the project is consistent with the requirements of Chapter 2, Title 10 of the Redondo Beach Municipal Code, to adjust the use with the land and uses in the neighborhood.
 - b) The site has adequate access to public streets of adequate width to carry the kind and quantity of traffic generated by the proposed use provided that the project includes an alley dedication to ensure the continued vehicular access to the adjacent parking area.
 - c) The proposed use shall have no adverse effect on abutting property or the permitted use thereof, subject to the conditions of approval.
 - d) With the approval of the proposed amendments to the General Plan and Local Coastal Program, the proposed project conforms to all of the requirements of the Zoning Ordinance as amended.
 - e) With the approval of the proposed amendments to the General Plan and Local Coastal Program, the project is consistent with the Comprehensive General Plan of the City.
3. In accordance with Section 10-5.2502(b) of the Redondo Beach Municipal Code, the applicant's request for Planning Commission Design Review is consistent with the criteria set forth therein for the following reasons:

- a) The design of the project considers the impact and needs of the user in respect to circulation, parking, traffic, utilities, public services, noise and odor, privacy, private and common open spaces, trash collection, security and crime deterrence, energy consumption, physical barriers, and other design concerns.
 - b) The location of the structure respects the natural terrain of the site and is functionally integrated with natural features of the landscape to include the preservation of existing trees, where feasible.
 - c) The design of the project is harmonious and consistent within the proposed architectural style regarding roofing, materials, windows, doors, openings, textures, colors, and exterior treatment.
 - d) The design of the project is integrated and compatible with the neighborhood and is in harmony with the scale and bulk of surrounding properties.
 - e) The design of the project provides innovation, variety, and creativity in the proposed design solution and serves to minimize the appearance of flat facades and box-like construction.
4. In accordance with Section 10-5.2218(c) of the Redondo Beach Municipal Code, the applicant's request for a Coastal Development Permit is consistent with the criteria set forth therein for the following reasons:
- a) The proposed development is in conformity with the Certified Local Coastal Program as amended because it is consistent with the (Public-Community Facility (P-CF) zone as amended and associated development standards.
 - b) That the proposed development, is not located between the sea (or the shoreline of any body of water located within the coastal zone) and the first public road paralleling the sea.
 - c) That the City has complied its CEQA responsibilities in connection with the project, and that, in approving the proposed development, the City is not violating any CEQA prohibition that may exist on approval of projects for which there is a less environmentally damaging alternative or a feasible mitigation measure available.
5. The Vesting Parcel Map 72314 is consistent with the Comprehensive General Plan of the City as amended.
6. The plans, specifications and drawings submitted with the applications have been reviewed by the Planning Commission, and are conditionally approved.
7. The Planning Commission hereby finds that Environmental Impact Report (SCH# 2013121065) has been prepared and circulated in compliance with the provisions

of the California Environmental Quality Act (CEQA), and the procedures set forth in the ordinances of the City of Redondo Beach.

8. The Planning Commission has reviewed and considered the Final Impact Report together with any comments received up to the close of the public hearing.
9. A Mitigation and Monitoring Reporting Program (MMRP) has been developed that includes a mitigation monitoring table listing the mitigation measures and identifies the timing and responsibility for monitoring each measure.
10. The Planning Commission hereby finds that the proposed project will have no effect on fish and game resources pursuant to Section 21089(b) of the Public Resources Code.
11. The Planning Commission hereby finds and determines that the proposed project will not have a significant effect on the environment, subject to the conditions of approval and mitigation measures.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission hereby finds that the above recitals are true and correct, and are incorporated herein by reference as if set forth in full.

SECTION 2. The Planning Commission does hereby conditionally approve the Conditional Use Permit, Planning Commission Design Review, Coastal Development Permit, and Vesting Tentative Tract Map No. 72314 for the Kensington Assisted Living Facility on Property Located within the Public Community Facility (P-CF) zone at 320 Knob Hill Avenue, contingent upon the following conditions:

1. That the approval granted herein is exclusively for the development and operation of an assisted senior living facility (also referred to as a 'Residential Care Facility for the Elderly' – RCFE) including the demolition of nine (9) of the ten (10) existing structures located on the subject property and the construction a two-story, 80,000-square-foot assisted living facility for the elderly with 96 residential suites (130 beds) to accommodate seniors as well as elderly who have Alzheimer's and other similar memory-impaired conditions, in substantial compliance with the plans approved by Planning Commission on October 15, 2015.
2. The approval of a Conditional Use Permit, Planning Commission Design Review, Coastal Development Permit, and Tentative Vesting Parcel Map for the project is contingent upon the City Council's approval of the text amendments to the General Plan, Coastal Land Use Plan and Coastal Zoning Ordinance to conditionally allow residential care facilities for the elderly on the subject property. Thereafter, the General Plan, Coastal Land Use Plan and Coastal Zoning Amendments must be approved by the California Coastal Commission

and approved by the majority of City of Redondo Beach residents at a future public vote. Should the proposed project/amendments not be approved by the California Coastal Commission and/or approved by the City of Redondo Beach residents via public election pursuant to Article 27 of the City Charter, all discretionary land use entitlements for the proposed project shall become null, void and of no force and effect.

3. Pursuant to Section 10-5.2238 of the City's Coastal Zoning Ordinance, any proposed amendment to the Local Coastal Program shall not take effect until it has been certified by the Coastal Commission. Any amendment approved by the City shall be submitted to the Coastal Commission in accordance with Sections 30512 and 30513 of the Public Resources Code. An amendment to the certified Local Coastal Program shall not become effective until the amendment is submitted pursuant to the requirements of Sections 13551 and 13552 of Title 14 of the California Code of Regulations and certified by the California Coastal Commission pursuant to Chapter 6, Article 2 of the California Coastal Act.
4. That the precise architectural treatment of the building exterior, roof, walks, walls, and driveways shall be subject to Planning Division approval prior to issuance of a building permit. That further discussions shall occur between the architect and staff regarding the proposed use of stone veneer on portions of the tower elements and the chimneys prior to the final approval of all exterior building materials and colors.
5. That a detailed and dimensioned sign program providing design details for three (3) proposed monument signs be prepared including the materials, colors, dimensions, sizes, locations, and sign setback distances, to ensure that the signs are in harmony with the building and site, that they provide a safe sight clearance for pedestrians and vehicles, and that they promote a high quality visual environment. The final sign program shall be reviewed and approved by the Planning Division Staff prior to issuance of the Building Permit.
6. That all perimeter walls, patio walls, retaining walls, service area walls, and screening walls shall be of a matching masonry/block materials designed to match the materials and colors used on the primary structure, finished on both sides, or of decorative tube steel.
7. That the west property line wall shall be eight (8) feet in height except within the front setbacks on Knob Hill and Avenue A where the maximum height shall be 42 inches. It shall be constructed of materials designed to act as a sound barrier, however it shall also be designed to match the other perimeter walls that will be finished with materials and colors in harmony with the materials and colors used on the primary structure.
8. On-site traffic signing and striping shall be implemented in conjunction with detailed construction plans for the project. The project access on Knob Hill

Avenue shall have a stop sign constructed for outbound traffic from the project site. A 'No Exit" sign shall be posted at the driveway access on Avenue A.

9. The existing fire hydrant located within the public right-of-way on the south side of Knob Hill Avenue needs to be relocated as per the requirements of the City's Fire Department.
10. The existing curb and gutter located on Knob Hill Avenue shall be replaced. The existing sidewalk located on Knob Hill Avenue and the existing curb, gutter, and sidewalk on Pacific Coast Highway and Avenue A will either remain, be repaired or replaced as the requirements of the Engineering and Public Works Departments. The street segment on Knob Hill Avenue adjacent to the subject property shall be repaved to the centerline.
11. The applicant shall provide complete landscaping plans including planting details and irrigations plans pursuant to the requirements of the Assembly Bill (AB) 1881, the Water Conservation in Landscaping Act of 2006 (Laird). Further, the landscape plan shall include landscaped berm and swale areas where possible for visual, terrain, and topographical variety, be designed to be compliant with any water runoff requirements, and to avoid potential hazards for the senior residents, guests and staff.
12. That the landscaping plans for the landscape area that is approximately fifteen (15) feet wide and 154.79 feet long that is located along the most westerly property line as measured from the front property line on Avenue A shall be redesigned so as to create the maximum possible buffer between the surface parking lot and the adjacent residential uses.
13. That the landscaping plans for the landscape area that is approximately 36 feet wide and eight (8) feet deep, located along the north property line on Knob Hill Avenue west of the new driveway, directly in front of the four (4) parking spaces, be redesigned so as to screen the parked cars from the public right-of way.
14. That the ten (10) existing King Palms located in the public parkway on the south side of Knob Hill Avenue adjacent to the subject property be removed and replaced with ten (10) new appropriate street trees, the species and sizes of which are still to be determined by the City's Urban Forestry Manager prior to the approval of the final landscape, planting and irrigation plans. And that as many as ten (10) new street trees, Hong Kong Orchids (*Bauhinia × blakeana*), be planted in the parkway on the north side of Avenue A adjacent to the subject property, depending on a final assessment of the existing trees to be conducted by the City's Urban Forestry Manager prior to the approval of the final landscape, planting and irrigation plans. That the applicant shall pay to the City of Redondo Beach, the estimated value of the trees to be removed in addition to the cost of purchasing and planting the new street trees.

15. That at least one pedestrian / bicycle pathway be incorporated into the design of the site plan to allow for direct access from the public sidewalk on Pacific Coast Highway to the front entrance of the new facility building.
16. That the applicant shall install five (5) electric vehicle charging stations at the five (5) parking spaces located closest to the westerly property line at the most southerly property line on Avenue A.
17. The City's newly adopted Public Art Ordinance requires the project applicant to provide a zoning requirement contribution equivalent of one percent (1%) of the building valuation above \$250,000. This zoning requirement contribution can take the form of: 1) an installation of public art on the subject property, commissioned by the developer, but subject to the approval of the City's Public Art Commission; 2) a request that the installation of public art on the subject property be commissioned and approved by the Public Art Commission; 3) an installation of public art on the subject property valued at less than the required 1% contribution and provide the balance of the 1% for the public art zoning requirement contribution to the John Parsons Public Art Fund; or 4) pay the zoning requirement fee to The John Parsons Public Art Fund to be used for future public art in public places as determined by the Public Art Commission based on the City's Public Art Master Program. If the decision regarding the public art contribution is not finalized prior to the issuance of a building permit, the project developer will be required to deposit the required 1% zoning requirement fee in a set aside account. The satisfied within a one (1) year period from the date of the issuance of a construction permit, the monetary public art deposit will revert to the John Parsons Public Art Fund for future public art in public places as determined by the Public Art Commission based on the City's Public Art Master Program.
18. The project shall be prepared in accordance with the approved Standard Urban Storm Water Mitigation Plan (SUSMP) / Low Impact Development (LID), prepared for the subject site by PSOMAS prepared August 1, 2013 and Revised August 19, 2013.
19. Color and material samples shall be submitted for review and approval of the Planning Division prior to the issuance of Building Permits.
20. The Vesting Parcel Map shall be recorded within 36-months of the effective date of this resolution, unless an extension is granted pursuant to law. If said map is not recorded within said 36-month period, or any extension thereof, the map shall be null, void, and of no force and effect.
21. The applicant shall comply with the following mitigation measures and the associated procedures listed in the MMRP:

- a. MM 4.3.A-1 Cultural Resources - Prior to issuance of building permits for the Kindergarten building, the applicant shall submit renovation/rehabilitation plans for the existing Kindergarten building showing compliance with the Secretary of the Interior's Standards for Treatment of Historic Properties and the associated Guidelines. These plans shall be submitted for review and approval by the City of Redondo Beach Preservation Commission pursuant to Redondo Beach Municipal Code Section 10-4.501.
 - b. MM 4.5.A-1 Greenhouse Gas Emissions - Prior to issuance of building permits, the project proponent shall submit, for review and approval by the Planning Department, building plans demonstrating an additional five percent energy efficiency above 2013 Title 24 efficiency standards, which equates to a 28.3 percent exceedance of 2008 Title 24 efficiency standards.
 - c. MM 4.5.A-2 Greenhouse Gas Emissions - Prior to issuance of building permits, the project proponent shall submit, for review and approval by the Redondo Beach Planning Department, construction drawings identifying the installation of a solar system producing a minimum of 46,975 kilowatt hours per year. Prior to the issuance of a certificate of occupancy the project proponent shall construct and operate the maximum amount of solar power possible on the proposed project rooftop (not to exceed 46,975 kilowatt hours per year). The remainder of the required 46,975 annual kilowatt hours shall be constructed by the project proponent on any RBUSD property or anywhere else on the project site prior to the issuance of a certificate of occupancy. If the project proponent plans on constructing any part of the solar system on off-site RBUSD property, the project proponent shall submit plans for review and approval to the RBUSD prior to issuance of building permits.
22. Prior to the issuance of building permits, the applicant shall incorporate all recommendations made within the Preliminary Geotechnical Engineering Report for the Proposed Senior Housing Development (project) prepared by Earth Systems Southern California dated March 6, 2014 (Appendix E of the EIR) into all associated grading and building plans. Recommendations related to soil engineering included on pages 9 through 19 of the report must be incorporated into plans to be approved by the Building and Engineering Divisions. The recommendations are related but not limited to: Site Preparation; Excavations; Foundations; Slab-on-Grade Construction; Retaining Walls; Expansive Soil; Utility Trenches; Preliminary Pavement Sections; Soil Chemical Testing; and Slope Stability.
23. Prior to the issuance of building permits, the applicant shall provide a checklist and/or document demonstrating how each appropriate recommendation within

the Preliminary Geotechnical Engineering Report is being incorporated into the construction documents.

24. Prior to commencement of demolition activities, the existing on-site structures shall be surveyed for the presence of asbestos containing materials (ACM) by a contractor registered with Asbestos Contractor's Registration Unit, as required by the state law. Should ACM be detected, appropriate abatement measure pursuant to South Coast Air Quality Management District Rule 1403 shall commence by a registered contractor at the expense of the project proponent. Documentation certifying that ACM have been removed to satisfactory levels as required by state law shall be delivered to the city Building Division prior to demolition of existing structures on site. The applicant shall bear the cost of implementing this condition.

25. Prior to the issuance of building permits, the applicant shall incorporate all recommendations made within the Kensington Assisted Living Facility Noise Impact Analysis Report prepared by Kunzman Associates, Inc dated April 17, 2014 (Appendix H of the EIR) into all associated grading and building plans. Recommendations related to demolition and construction activities included on pages 27 through 28 of the report must be incorporated into plans to be approved by the Building and Engineering Divisions. The following conditions of approval are intended to minimize the noise and vibrations generated during construction activities:
 - a. Equipment Mufflers. During all project construction, all construction equipment, fixed or mobile, shall be operated with closed engine doors and shall be equipped with properly operating and maintained residential-grade mufflers consistent with manufacturers' standards.
 - b. Stationary Equipment. All stationary construction equipment shall be placed (at a minimum of 50 feet from the adjacent residential structures) so that emitted noise is directed away from the nearest sensitive receptors.
 - c. Equipment Staging Areas. Equipment staging shall be located in areas that will create the greatest feasible distance between construction-related noise sources and noise-sensitive receptors (at a minimum of 50 feet from the adjacent residential structures).
 - d. Electrically-Powered Tools and Facilities. Electrical power shall be used to run air compressors and similar power tools and to power any temporary equipment.
 - e. Sound Barriers. Temporary sound barriers shall be installed and maintained by the construction contractor between the construction site and the residences to the west as needed during construction phases with high noise levels. Temporary sound barriers shall consist of either sound

blankets capable of blocking approximately 20 dBA of construction noise or other sound barriers/techniques such as acoustic padding or acoustic walls placed near the existing residential buildings to the west of the project site that would reduce construction noise by approximately 20 dBA. Barriers shall be placed such that the line-of-sight between the construction equipment and adjacent sensitive land uses is blocked.

26. Prior to issuance of occupancy permits, the project proponent shall install red curbs at project access points. This shall require the installation of red curb from the west side of the project access on Knob Hill Avenue to five feet west of the westerly side of the rolled curb for the fire lane. The east side of the project access on Knob Hill Avenue shall have ten feet of red curb painted. The project access on Avenue A shall have five feet of red curb on both sides.
27. Prior to issuance of grading permits, sight distance at the project access shall be reviewed with respect to California Department of Transportation/City of Redondo Beach standards in conjunction with the preparation of final grading, landscaping, and street improvement plans. Sight distance analysis shall be subject to review and approval by the Redondo Beach Engineering Division.
28. The applicant shall provide on-site erosion protection for the storm drainage system during construction, to the satisfaction of the Engineering Department.
29. The applicants and/or their successors shall maintain the subject property in a clean, safe, and attractive state until construction commences. Failure to maintain the subject property may result in reconsideration of this approval by the Planning Commission.
30. In the event of a disagreement in the interpretation and/or application of these conditions, the issues shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit. The decision of the Planning Commission shall be final.
31. All on-site litter and debris shall be collected daily.
32. Construction work shall occur only between the hours of 7 a.m. and 6 p.m. on Monday through Friday, between 9 a.m. and 5 p.m. on Saturday, with no work occurring on Sunday and holidays.
33. Material storage on a public street shall not exceed 48 hours per load.
34. The project developer and/or general contractor shall be responsible for counseling and supervising all subcontractors and workers to ensure that neighbors are not subjected to excessive noise, disorderly behavior, or abusive language.

35. Barriers shall be erected to protect the public where streets and/or sidewalks are damaged or removed.
36. Streets and sidewalks adjacent to job sites shall be clean and free of debris.
37. The Planning Division shall be authorized to approve minor changes to any of the Conditions of Approval.
38. In exchange for the City's issuance and/or adoption of the Project Approvals, the Applicant agrees to save, keep, indemnify, hold harmless and defend the City of Redondo Beach (with counsel of City's choice), and its appointed and elected officials, officers, employees, and agents (collectively "City"), from every claim or demand made, including in particular but not limited to any claims brought seeking to overturn the Project Approvals, whether under the California Environmental Quality Act ("CEQA"), the Coastal Act, the Government Code, Redondo Beach City Charter, or other state or local law, including attorney's fees and costs, and any attorneys' fees or costs which may be awarded to any person or party challenging the Project Approvals on any grounds. In addition, Applicant agrees to save, keep, indemnify, hold harmless and defend the City of Redondo Beach (with counsel of City's choice), and its appointed and elected officials, officers, employees, and agents (collectively "City"), from every liability, loss, damage or expense of any nature whatsoever and all costs or expenses incurred in connection therewith, including attorneys' fees, which arise at any time, by reason of, or in any way related to the City's decision to grant the Project Approvals, or which arise out of the operation of the Applicant's business on the Property; provided, however, that in no case shall the Applicant be responsible for the active negligence of the City."
39. That the entitlements granted herein shall exclusively allow for the conditional construction and operation of a Residential Care Facility for the Elderly. Any change in use (e.g. change in operation to provide services other than to the elderly) shall not be permitted and shall not be considered a minor change to the conditionally permitted use.

SECTION 3. That the approved Conditional Use Permit and Planning Commission Design Review Permit shall become null and void if not vested within 36 months after the legislative amendments becomes effective.

SECTION 4. The Planning Commission has conditionally approved the project permits and non-legislative entitlements pursuant to Redondo Beach City Charter § 27.5(b). This conditional approval is being provided to avoid duplicative Planning Commission meetings and does not commit the City to approval of this project, which is still dependent upon City Council action. The City Council may further modify this resolution, including the conditions of approval.

SECTION 5. That the location and custodian of documents and other materials which constitute the record of proceedings upon which this decision is based are held

by the Redondo Beach City Clerk, located at City Hall, 415 Diamond Street, Redondo Beach, CA, 90277.

FINALLY RESOLVED, that the Planning Commission forward a copy of this resolution to the City Council so the Council will be informed of the action of the Planning Commission.

PASSED, APPROVED, AND ADOPTED this 15th day of October, 2015.

Nicholas Biro, Chair
Planning Commission
City of Redondo Beach

ATTEST:

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS
CITY OF REDONDO BEACH)

I, Aaron Jones, Community Development Director of the City of Redondo Beach, California, do hereby certify that the foregoing Resolution No. 2015-10-PCR-019 was duly passed, approved and adopted by the Planning Commission of the City of Redondo Beach, California, at a regular meeting of said Planning Commission held on the 15th day of October, 2015, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Aaron Jones
Community Development Director

APPROVED AS TO FORM:

City Attorney's Office

Final Environmental Impact Report Documents

[Final Environmental Impact Report \(FEIR\)](#)

[Response to Comments and Mitigation Measure & Monitoring Report \(MMRP\)](#)

[Appendix A - Initial Study Comments and Scoping Materials](#)

[Appendix B - Visual Impact Assessment](#)

[Appendix C - Air Quality and Climate Change Assessment](#)

[Appendix D - Historical Resource Report](#)

[Appendix E - Preliminary Geotechnical Engineering Report](#)

[Appendix F - Standard Urban Stormwater Mitigation Plan / Low Impact Development Plan](#)

[Appendix G - Phase I Environmental Site Assessment](#)

[Appendix H1 - Noise Impact Analysis](#)

[Appendix H2- Supplemental Noise Assessment](#)

[Appendix I - Fire Response Analysis](#)

[Appendix J - Traffic Impact Analysis](#)

CITY OF REDONDO BEACH
PLANNING DEPARTMENT

APPLICATION FOR CHANGE OF LAND USE DISTRICT/ZONING MAP AMENDMENT

RECEIVED BY:

DATE RECEIVED:

7.17.13

Application is hereby made to the Planning Commission of the City of Redondo Beach, pursuant to the provisions of, Title 10, Chapter 2, Article 12 (10-2.2504) of the Redondo Beach Municipal Code, for a public hearing on an amendment to the Official Precise Land Use Plan Map, requesting reclassification of the property described below:

A	APPLICANT INFORMATION		
	STREET ADDRESS OF PROPERTY: 320 Knob Hill, Redondo Beach, CA 90277		
	EXACT LEGAL DESCRIPTION OF THE PROPERTY: APN 7509-002-902		
	LOT:	BLOCK:	TRACT: see Attachment "A" ZONING: P-CF
	RECORDED OWNER'S NAME: Redondo Beach City School District	AUTHORIZED AGENT'S NAME: William Shields	
MAILING ADDRESS: 1401 Inglewood Avenue, Redondo Beach, CA	MAILING ADDRESS: 12701 Treeridge Terrace, Poway, CA 92064		
TELEPHONE: 310-379-5449	TELEPHONE: 858-748-0201		
B	CHANGE OF LAND USE/ZONING MAP AMENDMENT REQUEST AND DESCRIPTION OF PROPERTY(S) INVOLVED:		
	see Attachment "B"		
SHOWINGS: IT SHALL BE SHOWN THAT THE FOLLOWING CIRCUMSTANCES ARE FOUND TO APPLY. GIVE FULL AND COMPLETE ANSWERS.			
1. That the proposed Change of Land Use District/Zoning Map Amendment is necessary and proper at this time, and not detrimental to adjacent properties or residents.			
see Attachment "B-1"			

ORIGINAL

2. That the subject property is suitable for the uses permitted in the proposed District, in terms of access, size of parcel, and relationship to similar or related uses.

see Attachment "B-2"

3. That the proposed District is in keeping with changing conditions, circumstances and needs to provide for the orderly growth and development of the City Division.

see Attachment "B-3"

c. It is desirable, but not required, to have the signatures of owners of property in the immediate area affected, certifying that they have no objection to the establishment of the use as applied for in this request for a Change of Land Use District/Zoning Map Amendment. Use reverse of this sheet if more space is needed.

ORIGINAL

ATTACHMENT "A"

LEGAL DESCRIPTION

PARCEL 1:

LOT 126 TO 135, INCLUSIVE, OF KNOB HILL TRACT, IN THE CITY OF REDONDO BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN 5 PAGE 73 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:

LOTS 1 TO 10, INCLUSIVE, IN BLOCK 1 OF TRACT NO. 2546, IN THE CITY OF REDONDO BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN 26 PAGES 4 AND 5 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ALSO THAT PORTION OF THE 7.5 FOOT ALLEY VACATED BY ORDINANCE NO. 485 OF SAID CITY, ADJOINING SAID LOTS ON THE NORTH AND BOUNDED NORTHERLY BY THE NORTH LINE OF SAID TRACT, WHICH WOULD PASS WITH THE LEGAL CONVEYANCE OF SAID LOTS.

ORIGINAL

ATTACHMENT "B"

B. CHANGE OF LAND USE/ZONING MAP AMENDMENT REQUEST AND DESCRIPTION OF PROPERTY(S) INVOLVED:

The request is for text amendments to the Coastal Land Use Plan Implementing Ordinance (Title 10, Chapter 5 of the City Municipal Code) in order to allow for the development of a state-licensed residential care facility for the elderly (RCFE) at the southwest corner of Knob Hill Avenue and Pacific Coast Highway (320 Knob Hill Avenue) and within the same specified property located within the Coastal Zone.

Specifically, the request includes amending Section 10-5.1110 (Land use regulations: P-CIV Civic Center zone, P-RVP Riviera Village parking zone, P-GP generating plant zone, P-ROW right-of-way zone, P-CF community facility zone, and P-PRO parks, recreation, and open space zone) to amend the schedule of permitted and conditionally permitted uses table to include "residential care facilities" and allow that those uses be permitted subject to a Conditional Use Permit. The schedule table would be amended to include the following:

Use Classification	P-CIV	P-RVP	P-GP	P-ROW	P-CF	P-PRO	Additional Regulations See Section:
Residential care facilities	-	-	-	-	C	-	10-5.1624(c)(1)

The zone code amendment also includes a request to amend Subsection (c)(1) of Section 10-5.1624 (Housing for senior citizens) to allow that housing for senior citizens, including residential care facilities for the elderly (i.e., "assisted living facilities") be permitted with a Conditional Use Permit in commercial and public/institutional zones south of Knob Hill Avenue and fronting Pacific Coast Highway. Suggest wording is as follows (as shown in ~~strikeout~~ and **bold/underline**):

(c)(1) **Zones where permitted by Conditional Use Permit.** Housing for senior citizens may be considered in Area 1 of the Coastal Zone in the R-3A, RMD, and RH multiple-family residential zones, in commercially **and public/institutional** zoned lots fronting Pacific Coast Highway that are also located north of ~~Knob Hill~~ Avenue **"A"** and in all mixed-use zones.

ORIGINAL

ATTACHMENT "B-1"

B-1. That the proposed Change of Land Use District/Zoning Map Amendment is necessary and proper at this time, and not detrimental to adjacent properties or residents.

The proposed zone code text amendments are necessary to extend the area for which residential care facilities may be permitted, and to specifically include the proposed project site which is just south of the current boundary for allowing such uses. The proposed zone code text amendments would acknowledge and allow for residential care facilities as a conditional use in the P-CF zone, as well as commercial or public/institutional zoned lots in the coastal zone that front Pacific Coast Highway and are north of Avenue "A." This amendment would allow for the proposed project site to have permitted uses that would be similar to those allowed for P-CF zoned property that is located outside of the coastal zone, and which would facilitate the accompanying development request for an assisted living facility at the southwest corner of Knob Hill Avenue and Pacific Coast Highway.

The proposed development site was previously occupied by a public school and has a long established history as an institutional use. The proposed assisted living facility would continue this land use relationship as a quasi-institutional use offering both residential and institutional like components. Surrounding existing land uses to the west and south are primarily single-family residential, and commercial located to the east opposite Pacific Coast Highway. Because the proposed project would be similar to an institutional use that has existed at this location previously, the change in land use is not anticipated to be detrimental to surrounding properties or residents. In fact, the proposed assisted living facility use would be less intense and as a residential care facility, is anticipated to be more compatible with the established surrounding uses.

ORIGINAL

ATTACHMENT "B-2"

B-2. That the subject property is suitable for the uses permitted in the proposed District, in terms of access, size of parcel, and relationship to similar or related uses.

The proposed project site is approximately 3.25 acres and is of adequate size and configuration to accommodate the proposed residential care (e.g., assisted living) facility. The proposed development site was previously occupied by a public school and has a long established history as an institutional use. The proposed assisted living facility would continue this land use relationship as a quasi-institutional use offering both residential and institutional like components. The proposed project site plan demonstrates that adequate site access, internal circulation and parking can reasonably be accommodated on the subject property. The change in land use and ultimate development of the proposed project is not anticipated to be detrimental to surrounding properties or residents, and would establish a relationship of land uses that is similar or related to other uses in the area.

ORIGINAL

ATTACHMENT "B-3"

B-3. That the proposed District is in keeping with changing conditions, circumstances and needs to provide for the orderly growth and development of the City Division.

The proposed change in land use and zone code text amendments would be in keeping with changing conditions, circumstances and needs that reflect orderly growth and development within the City. Demographics trends toward an aging population indicate the need for senior care and services in the City. As the senior population of the Redondo Beach community and the nation in general grows, the need for facilities that provide services and housing for the elderly has emerged as an increasing necessity for the general welfare and convenience of the public. In particular, there is a specific need for transitional housing options that provide care for relatively active and non-ambulatory seniors with memory impairments, including those with Alzheimer's disease. The requested zone code amendments and development of the proposed project would reflect the City's desire to address changing needs for elderly care within the community. Further, as the City continues to build out, fewer eligible properties (of suitable size, location and infill opportunity) are available to accommodate assisted living or similar senior residential care facilities. Adjustments to the zone code to extend this area of opportunity to include the proposed project site is consistent with an orderly approach to growth and development that reflects the changing needs for the community.

ORIGINAL

C

SHOWINGS: Explain how the project is consistent with the criteria in Section 10-2.2506(B) of the Zoning Ordinance.

1. Describe existing site improvements and their present use. If vacant, please specify.
School administration and training

2. Describe the site in terms of its ability to accommodate the proposed use and conform to the development standards of the Zoning Ordinance (i.e., setbacks, parking, landscaping, etc.)

This CUP Application is proposed in conjunction with a Zone Text Amendment. Subject to city approval the development plan will meet all city site development standards

The building setback along PCH will be a minimum of 25', along Knob Hill Avenue a minimum of 70', along the west property line a minimum of 50', and along Avenue A a minimum of 25'.

3. Describe the site in terms of its access to public rights-of-way. Give street names, widths, and flow characteristics.

Site is bounded by Pacific Coast Highway (40' to centerline) on the east, Knob Hill (50' to centerline) on the north and Avenue A (40' to centerline) on the south. A 10' ROW dedication along the PCH frontage for future improvements so the ultimate ROW on PCH will be 50' to centerline.

The project will be accessed with ingress/egress driveways located on Knob Hill and alignment with Elvira Avenue.

A drop off turnaround is provided on east side of property facing PCH. 70 surface parking spaces are provided along the driveway around the site.

The 'H' shaped building footprint, provides privacy to courtyards oriented to the west. Also a private screened courtyard/secured garden, will be located on the south side of the site along Avenue A.

A loading area and trash enclosure will be located along the internal west driveway and service entrance will be located off Avenue A along the south/west building wing.

4. Describe the expected impact of the proposed use on adjoining uses and activities and on future development of the neighborhood.

Proposed use as RCFE is expected to have less intensive traffic and less noise than the former elementary school occupancy.

5. Describe how the proposed use is consistent with the intent and purpose of the Redondo Beach General Plan.

The existing zoning is P-CF (Public – Community Facility.) In conjunction with this application, an application for a Zone Text Amendment is being filed. Although the proposed use is not consistent with the current zoning, it is consistent with the portions of the Redondo Beach General plan including allowing senior citizen development to be permitted subject to a Conditional use Permit and Planning Commission Design Review. The proposed development also follows the intent of the general plan in breaking up the commercial strip located along Pacific Coast Highway. The proposed building is located in the easterly end of the site allowing for significant setbacks from adjacent residential uses.

D It is desirable, but not required, to have the signatures of owners of property in the immediate area affected, certifying that they have no objection to the establishment of the use as applied for in this request for a Conditional Use Permit. Use reverse side of this sheet if more space is needed.

NAME	ADDRESS	LOT	BLOCK	TRACT

ATTACHMENT "A"

LEGAL DESCRIPTION

PARCEL 1:

LOT 126 TO 135, INCLUSIVE, OF KNOB HILL TRACT, IN THE CITY OF REDONDO BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN 5 PAGE 73 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:

LOTS 1 TO 10, INCLUSIVE, IN BLOCK 1 OF TRACT NO. 2546, IN THE CITY OF REDONDO BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN 26 PAGES 4 AND 5 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ALSO THAT PORTION OF THE 7.5 FOOT ALLEY VACATED BY ORDINANCE NO. 485 OF SAID CITY, ADJOINING SAID LOTS ON THE NORTH AND BOUNDED NORTHERLY BY THE NORTH LINE OF SAID TRACT, WHICH WOULD PASS WITH THE LEGAL CONVEYANCE OF SAID LOTS.

ORIGINAL

**CITY OF REDONDO BEACH
PLANNING DEPARTMENT**

RECEIVED BY:
DATE RECEIVED: 7.17.13

APPLICATION FOR PLANNING COMMISSION DESIGN REVIEW

Application is hereby made to the Planning Commission/Harbor Commission of the City of Redondo Beach, for Planning Commission Review, pursuant to Section 10-2.2502, of Chapter 2, Title 10 of the Redondo Beach Municipal Code.

PART I - GENERAL INFORMATION

A	APPLICANT INFORMATION	
	STREET ADDRESS OF PROPERTY: 320 Knob Hill, Redondo Beach, CA	
	EXACT LEGAL DESCRIPTION OF THE PROPERTY: APN 7509-002-902 (see ATTACHMENT "A")	ZONING: P-CF
	LOT:	BLOCK: TRACT:
	FLOOR AREA RATIO (EQUAL TO GROSS FLOOR AREA DIVIDED BY SITE SIZE) SITE SIZE (SQ. FT.): 146,858 GROSS FLOOR AREA (SQ. FT.): 82,600 FLOOR AREA RATIO: 0.56	
	RECORDED OWNER'S NAME: Redondo Beach School District	AUTHORIZED AGENT'S NAME: William D Shields
	MAILING ADDRESS: 1401 Inglewood Avenue, Redondo Beach, CA	MAILING ADDRESS: 12701 Treeridge Terrace, Poway, CA
	TELEPHONE: 310-379-5440	TELEPHONE: 858-748-0201
	APPLICANT'S NAME: Fountain Square Development West	PROJECT ARCHITECT: Hill Partnership / John Paris
	MAILING ADDRESS: 12701 Treeridge Terrace, Poway, CA 92064	MAILING ADDRESS: 115 22nd Street, Newport Beach, CA 92663
	TELEPHONE: 858-748-0201	TELEPHONE: 949-675-6442 LICENSE NO. C-13009
B	REQUEST	
	<p>The applicant requests a Planning Commission Design Review to use the above described property for the following purposes:</p> <p>Development of a 80,000 sf, 2 story, Residential Care Facility for the Elderly (aka Assisted Living) and reuse of 1-story 2,600 SF existing building.</p>	

C

SHOWINGS: Explain how the project is consistent with the criteria in Section 10-2.2514(C) of the Zoning Ordinance

1. Is the project designed in full accordance with the development standards of the zone in which it is located? If not, explain.

In conjunction with this application, applications for a Zone Text Amendment and a Conditional Use Permit are being filed. Subject to approval of those applications, the planned development is in compliance with all development standards.

2. Indicate how the location of buildings and structures respects the natural terrain and is integrated with natural features of the landscape including the preservation of existing trees where feasible.

*The building setback along PCH (min 25'), Knob Hill Avenue (min 70'), the west property line (min 50'), and Avenue A (min 25') meet or substantially exceed requirements.

*Grading will be limited to what is necessary to maintain a flat building pad and drainage.

*This school site was fully developed in the 60's with 11 buildings and large asphalt parking and play areas.

*One existing building and surrounding landscape located at the northwest corner of the site will remain.

3. Describe the site in terms of its access to public rights-of-way. Give street names, widths, and flow characteristics.

Site is bounded by Pacific Coast Highway (40' to CL) on the east, Knob Hill (50' to CL) on the north and Avenue A (40' to CL) on the south. A 10' row dedication will be added so ultimate row on PCH will be 50' to CL.

The project will be accessed with ingress/egress driveways located on Knob Hill and alignment with Elvira Street. A drop off turnaround is provided on the west side adjacent to 70 surface parking spaces are provided along the driveway around the site. The 'H' shaped building footprint, provides privacy to courtyards oriented to the west. Also a private screened courtyard/secured garden, will be located on the south side of the site along Avenue A. A loading area and trash enclosure will be located along the west driveway and service entrance will be located off Avenue A along the south/west building wing.

4. Describe how the overall design is compatible with the neighborhood and in harmony with the scale and bulk of surrounding properties.

The project site surrounding uses consist of one- and two-story single family residences, a two-story multi-family and one- and two-story commercial buildings. The project scale is compatible in size and scale of the adjacent properties. One- and two-story elements are used to create a variety of residential scale architectural features.

5. Describe how the design of buildings and structures avoids the appearance of flat facades or boxlike construction.

The building design has an articulated facade to create, non-repetitive architectural features. Also the roof line is articulated to break up the mass and emphasize architectural features.

6. SIGNS: Indicate how the size, shape, color, materials, illumination, and placement of signs is harmonious and in scale with the building and surrounding area, and avoids needless repetition or proliferation of signs or any adverse impacts on surrounding properties.

Signage for the project will be handled with ground mounted monument signs that have similar architectural character of the building and other site features such as site walls, screen walls, trellis, arcades, etc.

ATTACHMENT "A"

LEGAL DESCRIPTION

PARCEL 1:

LOT 126 TO 135, INCLUSIVE, OF KNOB HILL TRACT, IN THE CITY OF REDONDO BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN 5 PAGE 73 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

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ALSO THAT PORTION OF THE 7.5 FOOT ALLEY VACATED BY ORDINANCE NO. 485 OF SAID CITY, ADJOINING SAID LOTS ON THE NORTH AND BOUNDED NORTHERLY BY THE NORTH LINE OF SAID TRACT, WHICH WOULD PASS WITH THE LEGAL CONVEYANCE OF SAID LOTS.

ORIGINAL

B CONFORMANCE TO DIVISION OF LAND CRITERIA: Give full and complete answers:

2. Indicate how the proposed parcel(s) will front on or have adequate access to a public street (not alley) of adequate width to carry the quantity and kind of traffic generated by the uses allowed in the zone in which they are located.

Site is bounded by Pacific Coast Highway (40' to centerline) with an ultimate ROW of 50' on the east, Knob Hill (50' to centerline) on the north and Avenue A (40' to centerline) on the south.

The project will be accessed with ingress/egress driveways located on Knob Hill and alignment with Elvira Avenue.

A drop off turnaround is provided on east side of property facing PCH. 70 surface parking spaces are provided along the driveway around the site.

The 'H' shaped building footprint, provides privacy to courtyards oriented to the west. Also a private screened courtyard/secured garden, will be located on the south side of the site along Avenue A.

A loading area and trash enclosure will be located along the internal west driveway and service entrance will be located off Avenue A along the south/west building wing.

Proposed use as RCFE is expected to have less intensive traffic and less noise than the former elementary school occupancy.

3. Indicate how the proposed Division of Land will not be detrimental to the surrounding lot pattern and will not create lots smaller than the prevailing lot size in the area where they would be located.

This CUP Application is proposed in conjunction with a Zone Text Amendment. Subject to City approval the development plan will meet all City site development standards.

The building setback along PCH will be a minimum of 25', along Knob Hill Avenue a minimum of 70', along the west property line a minimum of 50', and along Avenue A a minimum of 25'.

4. Describe the nature of changes affected by proposed Parcel Map or Tract Map.

The nature of changes consists of consolidating/merging 21 existing lots into one single lot in order to be consistent with Zone Text Amendment and Conditional Use Permit applications.

B

CONFORMANCE TO DIVISION OF LAND CRITERIA: Give full and complete answers:

5. Indicate how the proposed Division of Land would be in conformance with the intent and purpose of the General Plan for the City of Redondo Beach.

The existing zoning is P-CF (Public - Community Facility.) In conjunction with this application, an application for a Zone Text Amendment is being filed. Although the proposed use is not consistent with the existing zoning, it is consistent with the portions of the Redondo Beach General plan including allowing senior citizen development to be permitted subject to a Conditional Use Permit and Planning Commission Design Review. The proposed development also follows the intent of the general plan in breaking up the commercial strip located along Pacific Coast Highway. The proposed building is located in the northeast corner of the site allowing for significant setbacks from adjacent residential uses.

ORIGINAL



STORM WATER PLANNING PROGRAM PRIORITY PROJECT CHECKLIST



Project Name Kensington Assisted Living Facility	Owner Name Redondo Beach School District	Developer Name Fountain Square Development West
Project Address 320 Knob Hill, Redondo Beach, CA	Owner Address 1401 Inglewood, Redondo Beach, CA	Developer Address 12701 Tree Ridge Terrace, Poway, CA
Check/Tract Number APN 7509-002-902	Owner Phone 310-379-5449	Developer Phone 658-748-0201

Applicability to Project (1)		Yes	No
Does project disturb/add 5000 sq.ft. or increase by 50% impervious area on property presently developed?		X	

Part A - Proposed Project (1) is:		Yes	No
1. A 43,560+ square foot commercial/industrial development			
2. An automotive repair shop (SIC 5013, 5014, 5541, 7532-7534, 7536-7539 and 7549)	X		
3. A retail gasoline outlet			X
4. A restaurant (SIC 5812) or food handling establishment, liquor stores exempt			X
5. A 10 or more unit homes (including single family, multifamily homes, condominiums and apartments)			X
6. Location adjoining to, bisected by, or directly discharging to a designated environmentally sensitive area where development will: (a) discharge stormwater and urban runoff that is likely to impact a sensitive biological species or habitat; and (b) create 2,500 sq. ft. or more of impervious area.	X		X
7. Parking lots with 25 or more spaces?			
8. Redevelopment projects in subject categories that meet redevelopment thresholds	X		
9. A single family dwelling located in the Hillside Zone ($\geq 25\%$ slope)	X		X

Part B - Project (1) Characteristics:		Yes	No
1. Vehicle or equipment fueling areas?			X
2. Vehicle or equipment maintenance areas, including washing?			X
3. Commercial or industrial waste handling or storage, excluding typical office or household waste?			X
4. Outdoor handling or storage of hazardous materials or wastes?			X
5. Outdoor work areas for activities such as, but not limited to: welding; cutting; metal fabrication; assembly; application of paints, coatings, or finishes; pre-cast concrete fabrication; etc.?			X
6. Outdoor animal care confinement (kennels, stables, etc.) or slaughter?			X
7. Outdoor food handling or processing?			X
8. Outdoor horticulture activities?			X
9. Located in the Coastal Zone and not exempt from the requirement to obtain Coastal Development Permit?	X		

If any box in Part A is checked "Yes", this project will require the preparation of a Standard Urban Storm Water Mitigation Plan (SUSMP).

If any box in Part B is checked "Yes", this project will require the preparation of a Site Specific Urban Storm Water Mitigation Plan (SSUSMP).

(1) On previously developed property the project is not required to prepare a USMP if less than 5000 sq. ft. of impervious area is disturbed/added or if more than 50% of additional impervious area is created. These limits do not apply to Part B (9) projects.

William Shields
Applicant Signature

WILLIAM SHIELDS
Printed Name

MEMBER
Title

8.29.13
Date

cc: One copy to Engineering and Building Services Department

ORIGINAL

FOUNTAIN SQUARE
DEVELOPMENT WEST

CITY OF REDONDO BEACH
PLANNING DEPARTMENT

APPLICATION FOR ENVIRONMENTAL ASSESSMENT

DATE FILED:
L.E.S. No.:

Negative Dec. \$1,125.00
Mit. Neg.Dec. \$1,250.00

INSTRUCTIONS FOR FILING:

Application Form

- 1) All information in this application shall be typed or legibly printed.
- 2) Give full and complete answers to all questions.
- 3) If necessary, attach extra sheets to answer questions fully.

A	APPLICANT INFORMATION
	STREET ADDRESS OF PROPERTY: 320 Knob Hill, Redondo Beach, CA
	EXACT LEGAL DESCRIPTION OF THE PROPERTY: (See ATTACHMENT "A")
	LOT: BLOCK: TRACT: LAND USE DISTRICT:
	ASSESSOR'S PARCEL NO.: 7509-002-902
	PROJECT SPONSOR NAME: Fountain Square Development West
	MAILING ADDRESS: 12701 Treeridge Terrace, Poway, CA 92064
	TELEPHONE: 858-748-0201

ORIGINAL

PROJECT DESCRIPTION (include types of discretionary approvals sought):

A Zone Text Amendment is being requested in conjunction with a Condition Use Permit.

Project Overview:

Fountain Square Development West is proposing to build an assisted living facility that will provide care for seniors that need assistance in daily activities, including those with Alzheimer's disease and other memory impairments. The facility will be licensed as a residential care facility for the elderly (RCFE) by the California Department of Social Services and will accommodate up to 130 residents.

The facility design is a two story 'H' shaped building footprint totaling approximately 80,000 SF and 96 suites. Functional spaces include administrative offices, common areas for dining, socializing and daily living activities, staff offices and facility support spaces. Outdoor common use will include gardens, patios, courtyards and covered walkways to enhance the residents' outdoor experience.

Fountain Square will contract with Kensington Management services who will operate the community. Kensington's operating philosophy is to provide services and care to seniors by fostering choices as well as providing independence for the resident, protecting dignity, and engaging family and friends participation in their lives. Assisted living services are intended for seniors who need assistance with the activities of daily living; including eating, bathing, dressing and medication management, but do not require 24-hour medical or skilled nursing care. Because the operational structure strives to balance private/independent living with the synergy of a group environment under supervised care, assisted living facilities by definition are neither a traditional residential, institutional or commercial services use.

All but 7 of the resident's suites will range from 325 SF for a studio to 580 SF for a 1-bedroom suite. The remaining 7 will be design especially for couples and will range from 600 sf to 1200 sf. Each suite will consist of a sleeping area, sitting area, bathroom (with sink, shower and toilet) and a small counter with a sink located near the sitting area. There will be no cooking in any of the suites as all meals are served restaurant style, in a common dining area. Some of the suites will be equipped with an under-counter refrigerator and a microwave oven for drinks and snacks.

B DESCRIPTION OF EXISTING ENVIRONMENT:

Describe the environment in the area of impact of the project as it exists before the commencement of the project. Include references to the project's compatibility with the General Plan, other policies and plans, and with related projects, both public and private, both existing and planned:

The existing zoning is P-CF (Public - Community Facility.) In conjunction with this application, an application for a Zone Text Amendment is being filed. Although the proposed use is not consistent with the existing zoning, it is consistent with the portions of the Redondo Beach General plan including allowing senior citizen development to be permitted subject to a Conditional use Permit and Planning Commission Design Review. The proposed development also follows the intent of the general plan in breaking up the commercial strip located along Pacific Coast Highway. The proposed building is located in the northeast corner of the site allowing for significant setbacks from adjacent residential uses.

ORIGINAL

C POTENTIAL ENVIRONMENTAL IMPACTS OF PROJECT:

- | YES | NO | |
|-----------------------------|-------------------------------------|--|
| 1. <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is this project associated with any other existing or proposed project? |
| 2. <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will this project involve any type of phased development? |
| 3. <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will the project involve a substantial alteration of ground contours? |
| 4. <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will the project alter existing surface drainage patterns? |
| 5. <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will the project substantially change existing noise or vibration levels in the vicinity? |
| 6. <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will the project substantially change demand for municipal services (police, fire, water, sewage, etc.)? |
| 7. <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will the project require certification, authorization, or issuance of a permit by any county, estate or federal environmental control agency such as the California Coastal Commission, APCD, EPA, or the Regional Water Quality Control Board? (If so, please identify those agencies.) |
| 8. <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is this project considered a "Priority Project" as defined by the City's NPDES Permist and will therefore require the submission of a SUSWMP? |

DISCUSSION OF "YES" AND "NO" RESPONSES FOR ITEMS 1 THROUGH 7 ABOVE. (Attach additional sheets as needed.)

D SUPPLEMENT TO ENVIRONMENTAL ASSESSMENT APPLICATION
(Must accompany Environmental Assessment Application for any project which involves physical construction.)

Please include the following with your submittal:

- A **site plan** showing topographic contours and location of proposed improvements.
- Floor plans** of all levels.
- Elevations** (4).
- A **longitudinal and transverse section**.

Please give the following data for the project:

ORIGINAL

- A. Type of project of land use: Existing P-CF, Proposed RH
- B. Anticipated types of specific Activities: See Section A – Project Overview
- C. Size of project site in square feet: 146,858 SF
- D. Number of employees: 100 (3-shifts, 7 days/wk)
- E. Improvements/modification in the public right-of-way: Cal Trans to require dedication of Right of Way along Pacific Coast Highway.
- F. Square footage of existing buildings on site: approximately 25,000 SF
- G. Square footage of proposed buildings on site: approximately 80,000 SF + 2,600 SF (E) building = 82,600 SF
- H. Number of dwelling units: 96 assisted living suites
- I. Number of parking spaces: 70 parking spaces
- J. Land Coverage: (Building footprint) 43,675 SF, Site Area: 143,777 NSF, (30.3)% of total
- K. Landscaped area in square feet: Existing: 25,000, Proposed: 51,000 SF
- L. Number of stories: 2 stories
- M. Maximum height above existing grade: 39 feet
- N. Grading proposals and estimate of cut and/or fill: Estimated 3,000 Cubic yards of cut
- O. Unique topographical features: N/A
- P. Mature vegetation: Limited number of mature trees and existing street trees.
- Q. Historical structures: None

E

CERTIFICATION:

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

Fountain Square Development West

Will D. Stutz *6/13/13*

Sponsor's Signature

Date

ORIGINAL

C PROJECT DESCRIPTION. (Provide a detailed description of the project.)

(see ATTACHMENT "B")

D PROJECT INFORMATION: (Note: Please provide a detailed project description on a separate page.)

Where questions do not apply to your project, indicate "NOT APPLICABLE" or N.A.

1. TYPE OF PROJECT

- New 80,000 Sq. Ft. + 2,600 SF (existing building) = 82,600 SF
- Addition n/a Sq. Ft.
- Demolition approx 25,000 Sq. Ft. (aka: assisted living)
- Change of use from school administration to Residential Care for the Elderly
- Grading 3,000 Cu. Yds.
- Fence 6 FT Height approx 400 LF Length
- Paving 43,000 SF Amount
- Other _____

2. ADDITIONAL INFORMATION

Note: If yes to any of the items b through h, please explain on a separate sheet.

- a. Has any application for development on this site been submitted previously to the California Coastal Zone Conservation Commission or Coastal Commission? YES NO
If yes, state previous Application Number:
- b. Are any utility extensions necessary to serve the project? If yes, explain. YES NO
See bottom of page
- c. Does the development involve diking, filling, dredging or placing structures in open coastal waters? If yes, explain and indicate whether the U.S. Army Corps of Engineers Permit has been applied for.
 YES NO
- d. Will the development extend into or adjoin any beach, tidelands, submerged lands or public trust lands?
 YES NO
- e. Is the development in or near:
- Sensitive habitat areas? YES NO
 - 100 year floodplain? YES NO
 - Park or recreation area? YES NO
- f. Will the development harm existing lower-cost visitor and recreational facilities? YES NO
Will the development provide public or private recreational opportunities? YES NO
- g. Does the site contain any:
- Historic resources? YES NO
 - Archaeological Resources? YES NO
- h. Will the proposed development be visible from:
- Park, beach or recreation areas? YES NO
 - Harbor area? YES NO
- i. Is the project a "**Priority Project**" as defined by the City's NPDES Permit pursuant to Section 5-7.103 of the Redondo Beach Municipal Code? YES NO
- If yes, are copies (2 or 25 copies, as applicable) of the *Standard Urban Storm Water Mitigation Plan (SUSMP)* attached? YES NO
- j. Is the a project with "**Planning priority project characteristics**" as defined by the City's NPDES Permit pursuant to Section 5-7.103 of the Redondo Beach Municipal Code? YES NO
- If yes, are copies (2 or 25 copies, as applicable) of the *Site Specific Urban Storm Water Mitigation Plan (SSUSMP)* attached? YES NO

2.b. Existing sewer laterals will be extended to to serve the proposed project. The on-site storm drain system is proposed to tie in the reconstructed catch basins at the corner of Avenue A and PCH. Water laterals will come off existing line in Knob Hill Ave. and may required a mainline extension in Knob Hill Ave. in order to meet fire flow requirements.

ORIGINAL

E. SHOWINGS: Explain how the project is consistent with the Certified Local Coastal Program.

1. Is the project designed in full accordance with the development standards and other provisions of the Zoning Ordinance for the Coastal Zone? If not, explain.

In conjunction with this Coastal Development Permit an application for a Zone Text Amendment and a Conditional Use Permit are also being filed. Subject to approval of those applications, the planned development will comply with all development standards.

2. If the proposed development is located between the sea and the first public road paralleling the sea, indicate how it is in conformity with the public access and public recreation policies of Chapter 3 of Division 20 of the California Public Resources Code. n/a

3. Will the project have an effect on public access to and along the shoreline, either directly or indirectly (e.g. removing parking used for access to the beach)? If yes, describe the effect. n/a

ATTACHMENT "A"

LEGAL DESCRIPTION

PARCEL 1:

LOT 126 TO 135, INCLUSIVE, OF KNOB HILL TRACT, IN THE CITY OF REDONDO BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN 5 PAGE 73 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:

LOTS 1 TO 10, INCLUSIVE, IN BLOCK 1 OF TRACT NO. 2546, IN THE CITY OF REDONDO BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN 26 PAGES 4 AND 5 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ALSO THAT PORTION OF THE 7.5 FOOT ALLEY VACATED BY ORDINANCE NO. 485 OF SAID CITY, ADJOINING SAID LOTS ON THE NORTH AND BOUNDED NORTHERLY BY THE NORTH LINE OF SAID TRACT, WHICH WOULD PASS WITH THE LEGAL CONVEYANCE OF SAID LOTS.

ORIGINAL

ATTACHMENT "B"

PROJECT DESCRIPTION Kensington Assisted Living Facility - 320 Knob Hill

Project Title

Fountain Square Development West: The Kensington Assisted Living Facility in Redondo Beach

Project Location

The project site consists of twenty (20) contiguous lots that make up one parcel (APN 7509-002-902) totaling approximately 3.25 acres located at 320 Knob Hill Avenue within the City of Redondo Beach. The site is bounded by Knob Hill Avenue to the north, Pacific Coast Highway to the east, Avenue "A" to the south and residential uses to the west. (see Figure 1)

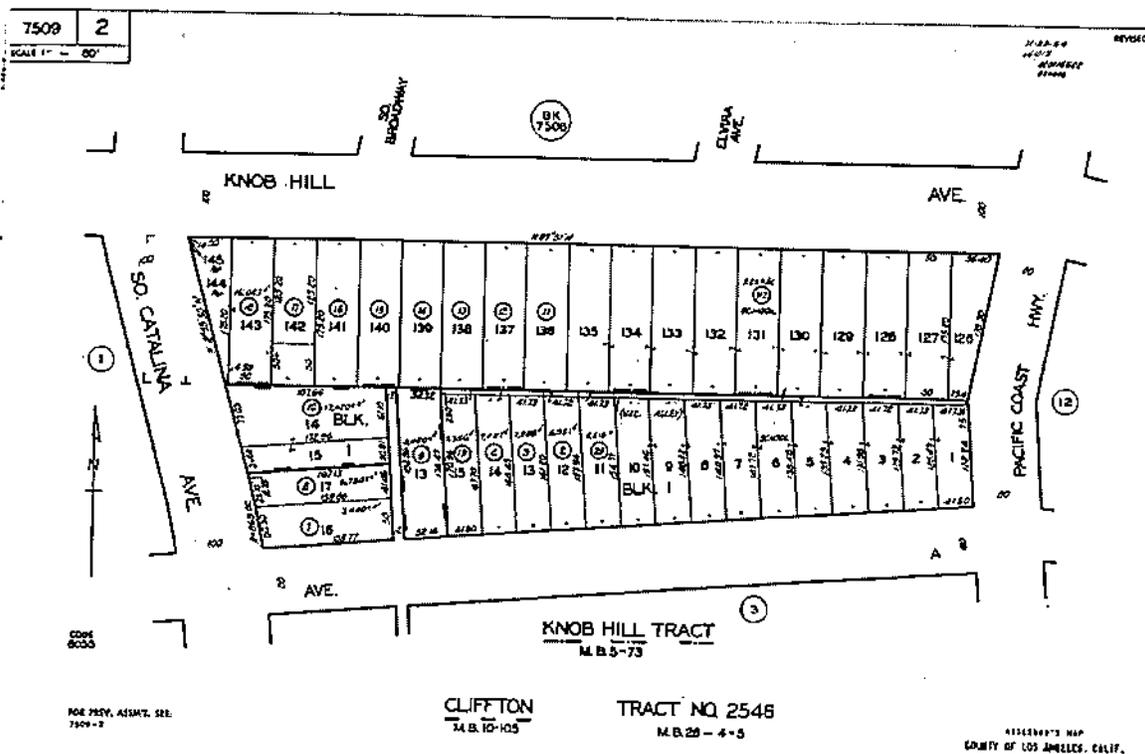


FIGURE 1
TAX PARCEL MAP

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Project Sponsor's Name and Address

Fountain Square Development West
12701 Treeridge Terrace
Poway, California 92064

Zoning District

The project site consists of one parcel which is zoned P-CF (Public – Community Facility). The parcel is also located within the Coastal Development Zone.

Project Overview

Fountain Square Development West is submitting applications for the design, construction, and operation of an assisted living facility. The facility would provide long-term residential care for seniors and persons with disabilities, including persons with Alzheimer's disease and other memory impairments. The facility, to be licensed as a Residential Care Facility for the Elderly (RCFE) by the California Department of Social Services, would accommodate up to 130 residents.

The facility design consists of a two-story, "H" shaped building envelope totaling approximately 80,000 gross square feet. Also included is an existing 1-story 2,600 SF building which will be part of the project. The facility would have 96 residential suites, plus administrative offices and resident common areas for dining and socializing. Additional components include on-site facilities for fitness, physical therapy, and wellness activities; a commercial kitchen; and a commercial laundry. Common use gardens, patios, and sitting areas would be incorporated throughout the facility grounds.

Proposed Project Components (see Figure 2A & 2B)

Estimated Building Area (Square Feet)

Care Units (guest rooms and suites)	46,065 sf
Common Living and Social Areas	10,820 sf
Existing 1-story building (social activities)	2,600 sf
Staff Offices/Caretaker Areas	3,725 sf
Facility Service/Operation/Main Areas	3,500 sf
Circulation and Structure	<u>15,890 sf</u>
Total	82,600 sf

Assisted living services are intended for seniors (i.e., generally persons 75 years or older, as well as younger residents who may experience early on-set of debilitating illnesses) who need assistance with the activities of daily living, including eating, bathing, dressing, and medication management, but who do not require 24-hour medical or skilled nursing care. Of the ninety-six

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(96) suites, eighty-nine (89) would range in size from approximately 325 square feet to 625 square feet and would include one or two sleeping areas. Seven (7) suites will be designed especially for couples and will range from 600 sf to 1,200 sf. Each suite consists of a bedroom area, sitting area (some in a separate room), and bathroom (with sink, shower and toilet); some suites will have a compact refrigerator and microwave but no cooking facilities are provided since meals are served restaurant-style in the common dining area. Full kitchens would only be provided in the 7 larger suites.

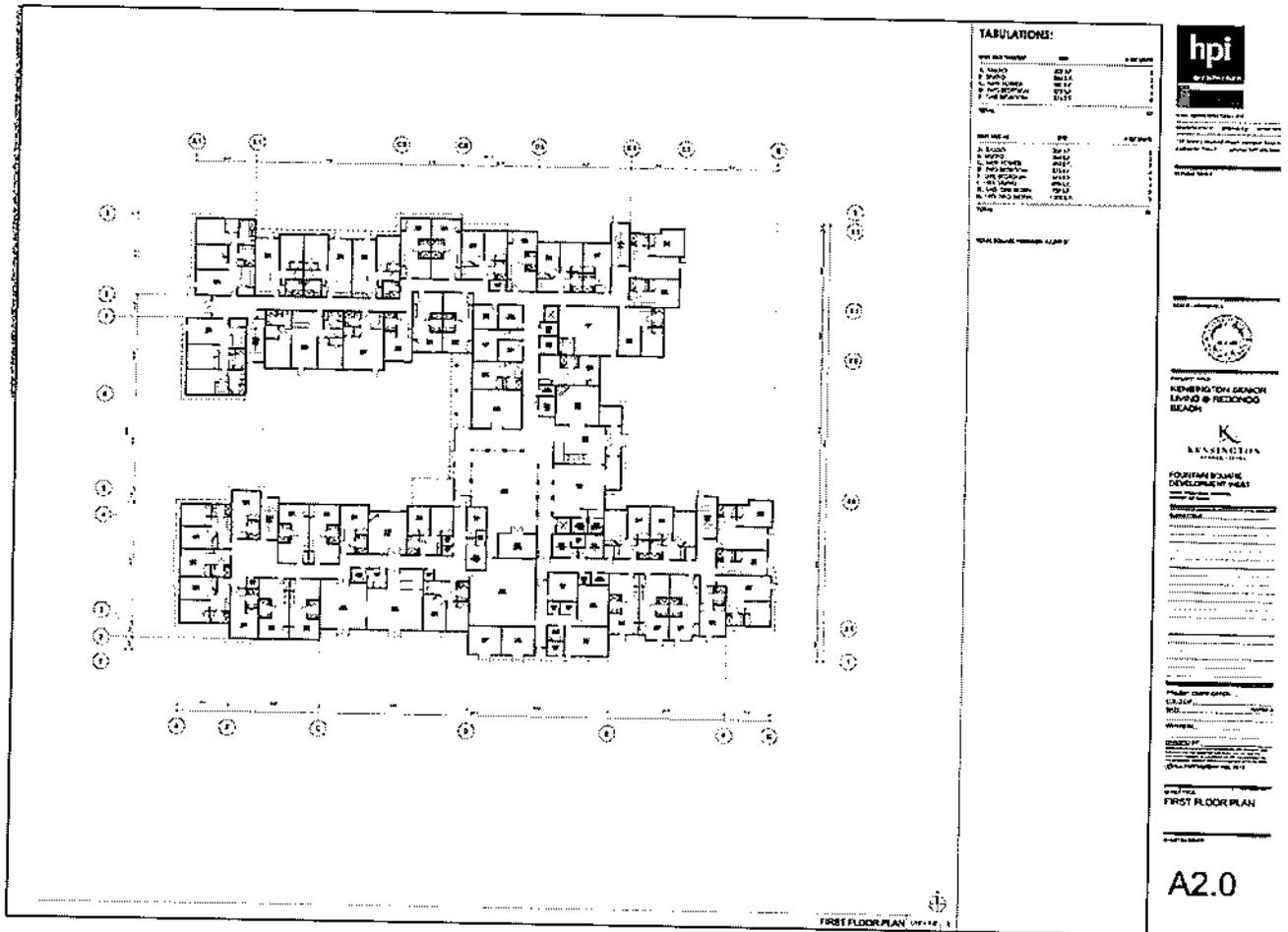
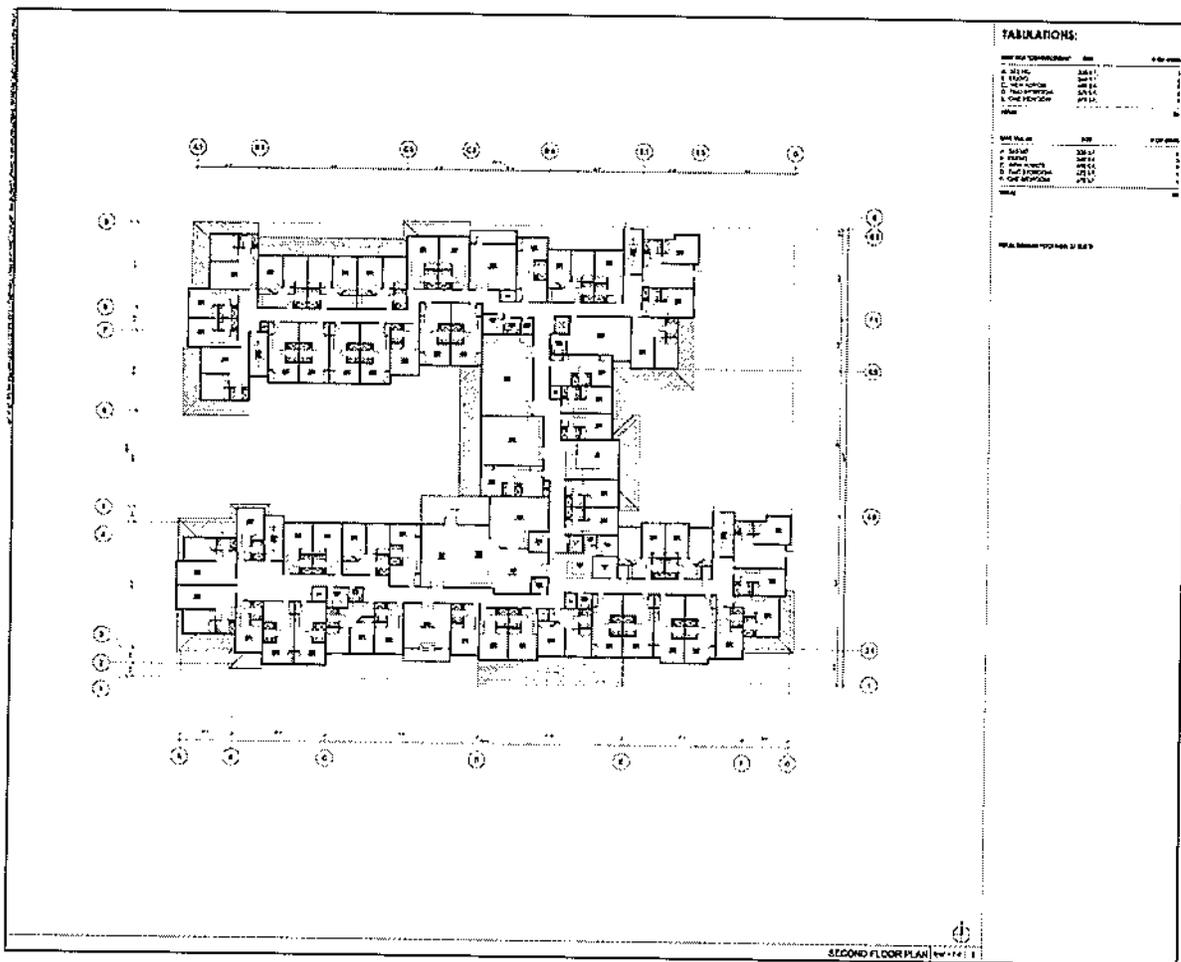


FIGURE 2A
FIRST FLOOR PLAN

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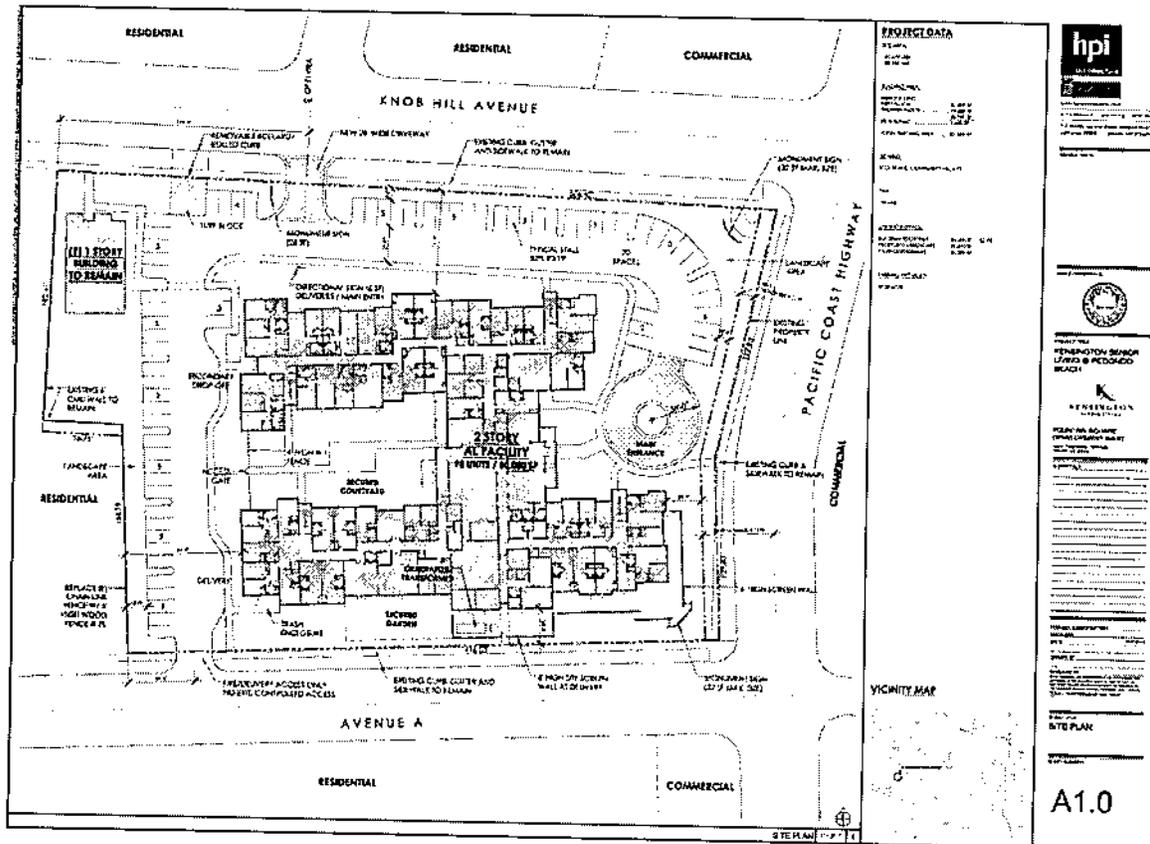


**FIGURE 2B
SECOND FLOOR PLAN**

Site Plan/Access/Circulation (see Figure 3)

The project site would be accessed via a single ingress/egress driveway off Knob Hill Avenue and a delivery only access off Avenue "A". The Knob Hill driveway would provide access to a porte cochere drop-off/pick-up at building's main entrance, which would face east or towards Pacific Coast Highway. The driveway would then extend to the surface parking lot located along the north and west sides of the project site. The location of the proposed Knob Hill driveway and curb cut would be opposite Elvira Avenue designed to accommodate current building code requirements and proposed site grades. The Avenue "A" driveway would be controlled access for deliveries and emergency vehicles only. Pedestrian access would be accommodated from the main building entrance, with a paved pathway from the entrance to Pacific Coast Highway as well. A secondary pedestrian access would be provided from the west parking area through the courtyard. Staff, utility service personnel, and secondary emergency response access.

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**FIGURE 3
SITE PLAN**

The H-shaped building footprint would be positioned toward the southeasterly portion of the project site, with its perimeter ringed by a garden path, landscaping, and seating areas. An open air courtyards would be provided within the recessed areas along the west faces of the building.

Building setbacks from residential properties along the west (rear) property line would be approximately 80 feet. The parking area along that same west side would have a landscape setback of 15 feet from residential properties located along the westerly property line. Deliveries would occur at the southwest corner of the building and would be hand delivered to the service area midway along the south side of the building. A trash room would be located at the southwest corner and accessed directly from parking/driveway area. The delivery and trash room would be located 80 feet from the west property line. The proposed structure would be two stories high, with a building height roof-line that peaks at 35 feet in height to screen mechanical roof-top components.

Along the Pacific Coast Highway frontage, a street dedication of 10' to 12' will be required for future street widening to 50' (from centerline). The existing 2,600 square foot, one story structure, often referred to as the "Day Care", located at the northwest corner of the site would

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remain. This building would be use for a variety of activities and programs that are consistent with the needs and interest of the residents.

There are currently no easements for power and telephone service located on the site. New easements would be required to accommodate power and telephone services to the new building.

Parking

The site plan shows 70 on-site parking spaces within a paved, surface parking lot on the north, east and west sides of the property. The parking area would be configured with 9' x 19' stalls with 25' isle width accessed from a double-loaded driveway that loops back to connect with the main ingress/egress site entrance on Knob Hill.

Architectural Treatment

The architectural design theme of the proposed building is based on elements of Spanish Revival and Mission styles commonly used in buildings in Redondo Beach. The design of the facility will take cues from Santa Barbara style architecture. Arched arcades, stucco facades, low-pitched gable, Spanish tiled roofs, exposed wood rafter beams and divided light windows are features associated with this style of architecture.

Landscape and Outdoor Lighting

Proposed landscaping has been designed to complement the building architecture and provide spaces for programmed activities for residents. Consistent with the City's landscaping requirements, planting materials would consist of low-maintenance, low water-use species which are either Southern California native plants and/or drought tolerant ornamentals. Higher water-using plant materials, such as mown turf grass and seasonal color, are proposed to be used sparingly. The proposed irrigation system would be a "smart system" designed to reduce water waste and comply with applicable City codes.

Outdoor Lighting would be installed to illuminate the porte cochere, driveways, courtyards, walkways, and parking facility for security and safety purposes. Ground level accent lighting would be installed to highlight building and landscape features. Exterior features would include minimal low-impact lighting in compliance with the City's ordinance to avoid nuisance to other area properties.

Operational Characteristics

The estimated number of operating staff for the facility for all shifts is approximately 110 part-time and full-time staff. The maximum number of staff on site at any one time would be approximately 40. The assisted living community would offer an environment in which residents

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enjoy communal meals, social activities, housekeeping and other services. As a part of this proposed assisted living community, care will be available for those who suffer from memory loss and dementia related diseases such as Alzheimer's.

Signage

Three project identification signs to identify the assisted living facility are proposed, including one adjacent to the main entry off Knob Hill Avenue and one each on the corners of Pacific Coast Highway and Knob Hill and Pacific Coast Highway and Avenue "A". Neither sign would exceed 32 square feet [maximum allowed by city] in area size. Final design, size and placement of project signs will be subject to approval by the City. Secondary signage to assist with directional and safety messaging would also be provided as appropriate.

Site Preparation and Grading

The proposed development involves demolition of the ten (10) existing onsite school buildings (totaling approximately 25,000 square feet combined) and removal some of the existing trees. The project would involve grading the building pad generally maintaining the current grade with a balanced grading plan such that there is very limited export or import. Other than for landscape purposes, there would be limited onsite retaining required. The existing retaining walls along the east and south boundaries would remain or be modified slightly to manage drainage from the site and support onsite landscaping.

Development Schedule

Construction of the proposed project is anticipated to start during spring 2015 and be completed by summer/early fall 2016, lasting approximately 16 to 18 months.

Demolition of the existing structures is anticipated to start in spring 2015 and may require up to eight weeks for completion¹. Other site preparatory work and grading is anticipated to start in early summer 2015 and would run concurrent with demolition efforts, lasting approximately eight weeks. Construction is anticipated to require approximately 10 working months for completion. Site finishing work is anticipated during late spring/summer 2016, with a target occupancy/opening date in September 2016.

Project Objectives

The project applicant desires to accomplish the following objectives:

- Provide a range of services and care for senior citizens.
- Implement a project design that is embraces the positive physical features of the property, promotes a high quality living environment for occupants within the proposed development, and minimizes adverse influences on the surrounding community.

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Establish development standards and guidelines that are suitable for an assisted living community, consistent with city policy, and compatible with the surrounding uses.

City objectives with respect to the project include:

Ensure that development of the site occurs in a manner that implements General Plan policies and complies with applicable zoning regulations.

Ensure that development of the site occurs in a manner that complements surrounding uses in terms of scale, type of use, and contribution to neighborhood character.

Surrounding Land Uses

The project site is located on Pacific Coast Highway between Knob Hill Avenue on the north and Avenue "A" on the south. Those properties also fronting on Pacific Coast Highway to the north, south and across Pacific Coast Highway are commercial/retail. The properties across Knob Hill Avenue to the north are multi-family, across Avenue "A" to the south and contiguous to the west of the site are single family residential.

The project site is located about 0.5 miles north of Rivera Village and 1.25 south of City Hall and 0.25 miles east of the Pacific Ocean. As the main arterial street, Pacific Coast Highway is the north-south corridor hosting primarily commercial properties along with civic/institutional, parks and churches. Flanking those properties that line both sides of Pacific Coast Highway are multi-family and single family properties.

Environmental Setting and Existing Conditions

The project site is located within a built-out and completely urbanized area along Pacific Coast Highway. The site topography is generally flat with a low point at the southeast corner, having an overall existing elevation differential of approximately 5.5 feet from the northwest corner (high) to the southeast corner (low) of the site.

The site currently is occupied by a ten (10) school buildings (all constructed in the early 1950s & 1960s). The majority of the site is covered with asphalt parking that accommodates approximately 75 parking stalls and playground area with playground equipment. The existing landscape area of 25,000 square feet (18% of the site) consisting of shrubs, lawn areas and trees located around the buildings will be increased to 51,000 square feet (36%) (see table below).

	<u>Existing</u>	<u>Percent</u>	<u>Proposed</u>	<u>Percent</u>
Building Area (FAR)	n/a		82,600 sf ²	56%
Landscape Area	25,000 sf	17%	51,000 sf	35%
Footprint	25,000 sf	17%	45,400 sf	31%
Pavement/Sidewalk	96,858 sf	66%	50,458 sf	34%

Total Area of Site = 146,858 gsf

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The property is elevated approximately 2 feet above the adjacent street levels at the southeasterly corner of Pacific Coast Highway and Avenue "A", and supported by retaining walls (18 inch maximum height) along the south and east property perimeter (adjacent to the public sidewalk).

Required Approvals

Required approvals are:

1. General Plan Amendment (Coastal Zone Ordinance / Text Amendment)
2. Coastal Development Permit
3. Conditional Use Permit
4. Planning Commission Design Review
5. Environmental Assessment
6. Division of Land - Tentative Parcel Map to consolidate lots

Subject to the approval of the Planning Commission and City Council, it is anticipated the project will require a vote of the residents of Redondo Beach.

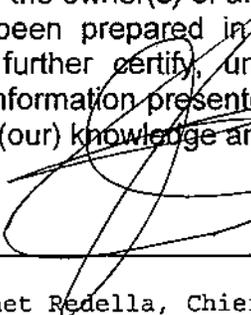
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OWNER'S AFFIDAVIT

Project address: 320 Knob Hill, Redondo Beach, CA

Project description: Kensington Assisted Living Facility

I (We) Redondo Beach Unified School District, being duly sworn, depose and say I am (we are) the owner(s) of all or part of the property involved and that this application has been prepared in compliance with the requirements printed herein. I (we) further certify, under penalty of perjury that the foregoing statements and information presented herein are in all respects true and correct to the best of my (our) knowledge and belief.

Signature(s): 

Janet Redella, Chief Business Officer

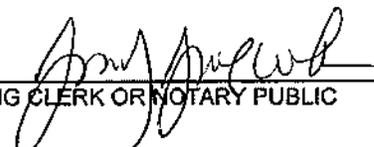
Address: 1401 Inglewood Avenue

Redondo Beach, CA 90278

Phone No. (Res.) _____

(Bus.) 310-937-1241

Subscribed and sworn to (or affirmed) before me this 24th day of June 2013, ~~200~~ by JANET REDELLA, proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.


FILING CLERK OR NOTARY PUBLIC

State of California)
County of Los Angeles) ss

Seal

Updated 1/7/08



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Kensington Assisted Living Project
Architectural Drawings [click here](#)

October 1, 2015

PRELIMINARY SITE MATERIALS

Kensington Senior Living

Redondo Beach, CA

Fountain Square Development West

Prepared by:



Ivy Landscape Architects
1947 Fern Street, Suite 4
San Diego, CA 92102

Colors for Concrete

Davis Colors™ mix into any concrete, transforming it into a new design feature for building and paving projects or to enhance appearance around the home. Davis Colors™ are strong, durable and last as long as the concrete. There are bold and intense premium colors, standard colors that add less than a dollar per square foot, and subtle shades for any budget.

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SANDSTONE 5237



CANYON 160



SANTA FE 1117



MOCHA 6058



RUSTIC BROWN 6058



PEBBLE 641



DUNE 6058



OUTBACK 677



SEQUOIA SAND 641



YOSEMITE BROWN 641

ITEM B,C & D ON THE CONCRETE FINISH LEGEND.



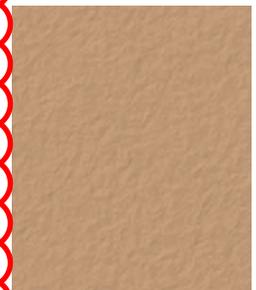
SILVERSMOKE 8084*



LIGHT GRAY 8084*



OMAHA TAN 5084

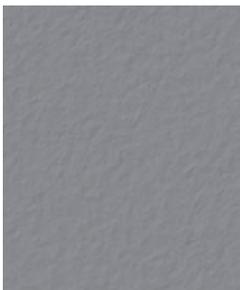


HARVEST GOLD 5084



Concrete Base Color

The natural base color of concrete, finishing and curing method determines final color. This card simulates lab samples made with a light broom finish from Type II gray cement, sand and water at 0.56 water/cement ratio for a 4" slump (see uncolored reference at left). Different cements, sand, rock, mixing and job-site conditions and contractor technique can alter color from this card. Concrete is produced from natural materials. Surface variation common to uncolored concrete can impact colored concrete.



DARK GRAY 8084*



BAYOU 6130

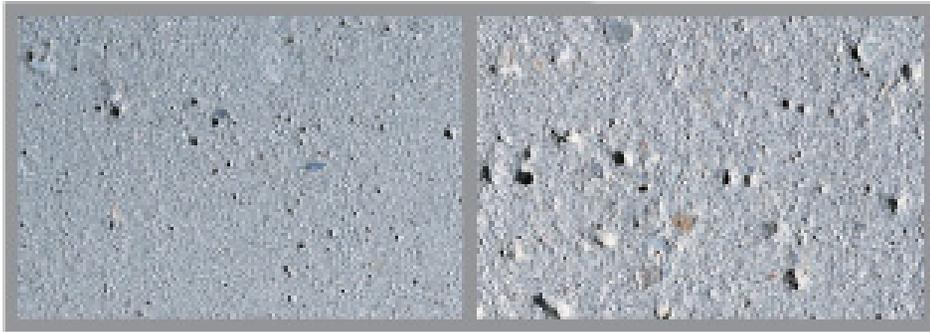


COCOA 6130

* **Caution:** 8084 is not compatible with air-entraining admixtures. See back page for more information.

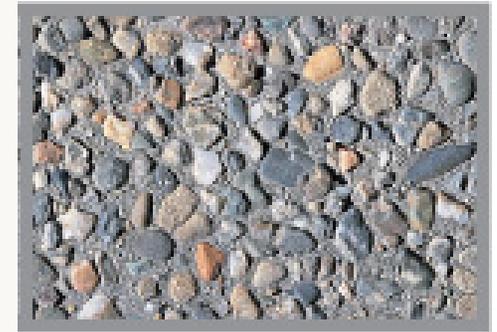
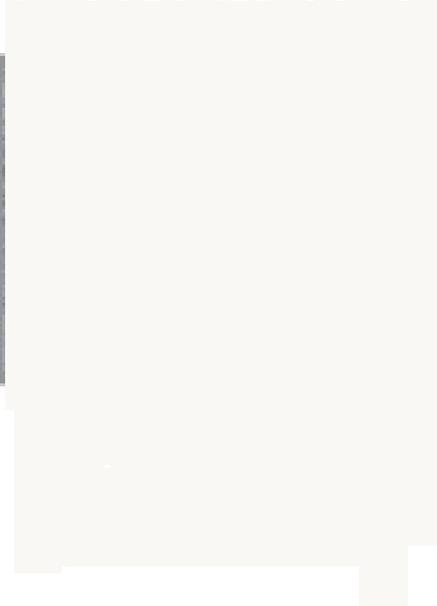
CONCRETE FINISH SHOWN ON NATURAL CONCRETE
PROJECT WILL USE FINISHES ON "OMAHA TAN" COLORED CONCRETE.

ITEM B,C & D ON
THE CONCRETE
FINISH LEGEND.



LIGHT
SANDBLAST

MEDIUM
SANDBLAST



EXPOSED
AGGREGATE

Home > Windsor 5 ft. bench



ITEM #8 ON THE LANDSCAPE CONSTRUCTION LEGEND.

Windsor 5 ft. bench

The emphasis of the Windsor design is its tailored geometric look. The arms are broad and flat, but not overstated. The back slats are carefully spaced to ensure proper proportions. [Additional Details >](#)

MEASUREMENTS & MATERIALS

SHIPPING & WARRANTY

CUSTOMIZE & PREVIEW

SEE ALL CUSTOMIZATION OPTIONS:

SELECT FABRIC

ADD FINISH

ADD ENGRAVING



Windsor 5 ft. bench

Item # 4402

\$775.00

QTY:

Natural teak lasts a lifetime - no finish required.

ADD AN OPTIONAL FINISH

TOP RAIL +\$92.00 MAX CHARACTERS: 55

FRONT RAIL +\$92.00 MAX CHARACTERS: 55

Preview Engraving



Cushion - 5 ft. bench - 55-1/4 W x 18-1/4 D x 2 in. H

Item # 02

Price From: \$155.00

QTY:

SELECT FABRIC

ADD TO CART

RELATED PRODUCTS



Windsor 4 ft. bench

Item # 4401

\$655.00

QTY:

Natural teak lasts a lifetime - no finish required.

ADD AN OPTIONAL FINISH

TOP RAIL +\$92.00 MAX CHARACTERS: 42

FRONT RAIL +\$92.00 MAX CHARACTERS: 42

Preview Engraving

Cushion - 4 ft. bench - 42-1/2 W x 18-1/4 D x 2 in. H

Item # 01

Price From: \$133.00

QTY:

**ITEM #9 ON THE LANDSCAPE
CONSTRUCTION LEGEND.**

**Bronze Sculpture in the Memory Care Garden
Blue Heron**

Large Heron Head Low: 10"Wx6"Dx42½"H. 16 lbs.

Large Heron Head High: 11"Wx6"Dx50"H. 15 lb

Available through: designtoscano.com



ITEM #5 ON THE LANDSCAPE
CONSTRUCTION LEGEND.

BIKE RACK





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home buildings & enclosures pine harbor buildings

Back to Enclosures

ITEM #23 ON THE LANDSCAPE CONSTRUCTION LEGEND.



Cedar Cubby with Paneled Door

SKU: 291136

Keep gardening tools, clay pots, and lots more neatly out of sight in this handy kiln dried cedar shed. Double doors feature heavy galvanized strap hinges, Ring Latch and chain bolt securing non-latching door. Screws together for easy assembly. Situate against a wall or anchor if freestanding (anchoring not supplied). Double doors each 20"wide. 63 1/4" W, 30 1/4" D, 85" H. Motor Freight.

Cedar Cubby with Paneled Door \$1,498.00

Quantity

FREE SHIP to STORE

ADD TO CART

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Cedar Cubby with Arched Door \$1,498



Standard Cuddyhunk Building - 3 sizes

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Fence Use : Garden Fence, Privacy Fence, Pool Fence

Fence Materials : Wood Fence, Vinyl Fence, Metal Fence, Wrought Iron Fence

Gate Types : Driveway Gates, Automatic Gates, Walk

Gates Use : Security Gates, Entry Gates, Decorative

Gate Materials : Wood Gates, Vinyl Gates, Metal Gates

ITEM #20 & #21 ON THE
LANDSCAPE
CONSTRUCTION LEGEND.
ARBOR ONLY - NOT GATE.

Arched Arbor



MEMORANDUM

February 25, 2015

To: Billy Shields, Fountain Square Development West

From: Philip Downey, Senior Housing Analytics

Re: Customer origin analysis for the proposed assisted living community in Redondo Beach, CA

Background

Fountain Square proposes to develop a state-of-the-art assisted living community in Redondo Beach, and has asked Senior Housing Analytics to estimate the number of customers that will originate from within the “shared service area (SSA)” defined as the four cities of Redondo Beach, Manhattan Beach, Hermosa Beach and Torrance.

Defining the customer

Assisted living communities provide a valued service to two primary groups:

- Seniors needing assistance in daily living (henceforth called “Qualified Seniors” or QS): This group is quantified as households with head over age 75 and incomes above a threshold deemed necessary for private pay assisted living. Income-qualified senior households are 75+ households with income over either \$35,000 or \$50,000.
- Households with parents or other loved ones requiring assistance in daily living (henceforth called “Qualified Caregivers” or QCG): This group often drives the assisted living purchase decision and in some cases funds part of the cost. Prior analysis of large datasets by SHA principals established that the density of qualified caregivers is more strongly correlated to AL and MC performance than is the density of qualified seniors. Qualified Caregivers are defined as households with head aged 45-64 and income over \$100,000.

Therefore, for the purpose of this analysis the relevant question is:

How many residents of the proposed assisted living community can be expected to be qualified seniors residing in the SSA or seniors with qualified caregivers residing in the SSA?

Assisted living resident origin

SHA principals have completed large sample analysis of resident origin at over 200 assisted living communities in the U.S. This research has found that in 60-70% of cases the residents fit one of two conditions:

- They resided within the primary market area immediately before moving into the community

- Their responsible caregiver, typically an adult child, resides within the primary market area.

Defining the Primary Market Area (PMA)

As stated above, the primary market area is the geographic area from which 60-70% of customers are expected to originate. PMA size is a function of urban density and supply distribution. In primary urban and suburban markets such as the Beach Cities, SHA has found areas generally within five miles having good site accessibility and consistent community character, define the PMA. As shown in Fig. 1, the four SSA cities all fall within the five mile ring and appear to have consistent community character (as opposed to the Palos Verdes peninsula or other cities north of the SSA). Therefore, the four city SSA appears to be a reasonable assumption for the primary market area of the proposed community.

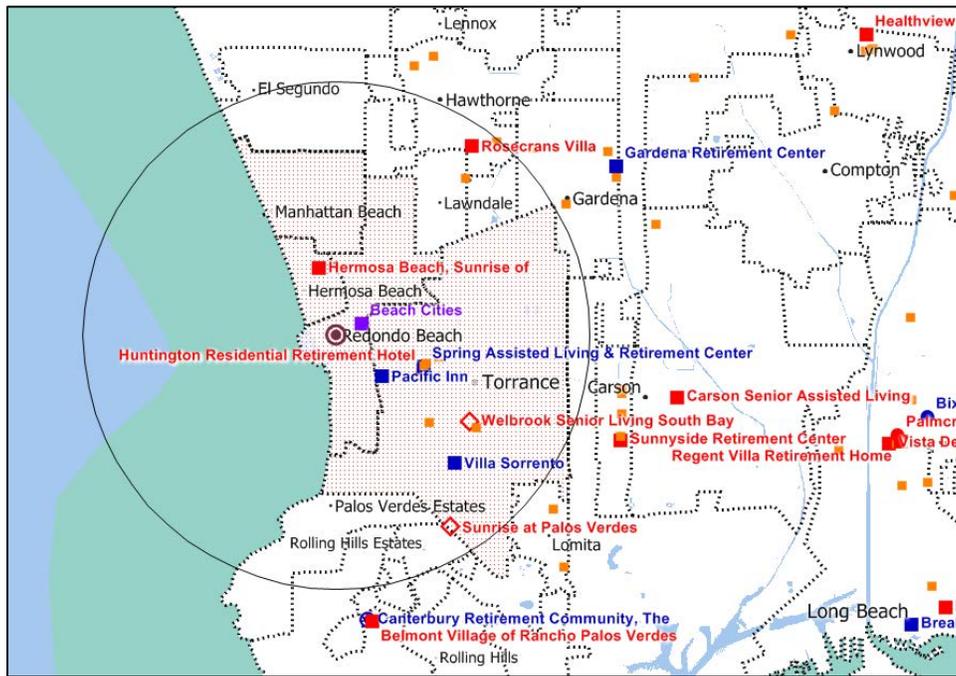


Figure 1: Primary market area for a Redondo Beach assisted living community

Assisted living demand within the SSA

Based on national utilization standards, the SSA has a deficit of assisted living and memory care units. If the SSA has an assisted living utilization rate (also called a penetration rate) comparable to the median of all the PMA's in major U.S. markets, the market could support 830 assisted living and 211 memory care units in 2015. Current supply--existing and under construction--is 370 assisted living and 191 memory care units (see Fig. 2).

Conclusion

- The primary market area will typically generate 60-70% of the residents moving into an assisted living community.
- The four city SSA is a reasonable approximation of the primary market area for the subject Redondo Beach project.

- The four city SSA is currently underserved and the customers within the SSA should have a strong preference to stay within the SSA if a new quality-tier AL community is developed.

Therefore, it is reasonable to assume that if the subject assisted living community is developed, 60-70% of the residents will be either seniors currently living in the SSA or parents/loved ones of others currently living in the SSA.

Figure 2: Estimated assisted living utilization and unaddressed demand, four city SSA

	Income qualified households (1)		vs. 5 mi. ring PMAs, majority AL's, NIC-31; N=2,558 (2)			AL utilization at median (5)		MC utilization at median (5)	
	2015	2020	decile score (3)	supply penetration	MC med supply penetration (4)	2015	2020	2015	2020
45-64 households, income>\$100K (QCG-\$100)	23,732	25,760	9	0.040	0.010	949	1030	244	265
75+ households, income>\$35K (QS-\$35)	5,687	6,349	8	0.129	0.033	734	819	185	206
75+ households, income>\$50K (QS-\$50)	4,079	4,621	8	0.198	0.050	808	915	203	230
<i>Average</i>						830	921	211	234
<i>Current supply in SSA (6)</i>						370	284	191	133
<i>Difference between current supply and utilization at medians</i>						460	637	20	101
<i>(1) source: Claritas 2015 for the SSA (Redondo Bch, Manhattan Bch, Hrmosa Bch and Torrance)</i>									
<i>(2) source: NIC MAP, values calculated using the unit supply in all 2,558 Majority AL communities in the 31 largest MSA's.</i>									
<i>(3) decile rank of the SSA vs. the 5 mile rings around the 2,558 Majority AL's in the NIC 31; 10+ highest (i.e. most favorable) decile.</i>									
<i>(4) median supply penetration (total available units divided by total qualified households) in the 2,558 Majority AL's in the NIC 31.</i>									
<i>(5) estimated AL utilization in the SSA assuming the median supply penetration.</i>									
<i>(6) source: NIC MAP 4Q14, assisted living and memory care supply in the SSA, open and under construction</i>									



Phil Downey, Principal

During his twenty-five year career in senior living, Phil has played a seminal role in the birth and maturation of the American seniors housing industry, and was a pivotal leader in the national rollout of multi-brand businesses for Sunrise and Marriott. He has expertise in strategic planning, product conceptualization, market feasibility analysis site selection, and project programming. While with Sunrise and Marriott he directed product development, market selection/location strategy, and project-specific market analysis initiatives resulting in the creation and roll-out of over \$2 billion of multi-branded seniors housing communities in all major markets in the U.S. and Canada.

Phil has also served as Chairman of the American Seniors Housing Association as well as on executive committees in the Assisted Living Federation of America and the National Investment Center for the Senior Living Industries, and is also guest faculty at the Client School of Aging at the University of Maryland, Baltimore County. He has been a featured speaker at major conferences, most recently at the 2009 ULI Annual Conference in San Francisco. Phil holds a BA from the University of Illinois, a Masters in City and Regional Planning from Rutgers University and is a certified urban planner (AICP).

SUMMARY OF KENSINGTON ASSISTED LIVING (RCFE) COMMUNITY OUTREACH ACTIVITIES

As described by the Project Applicant(s) (via email) 10.1.15

Co-Applicants:

Fountain Square Development West ("FSDW")
Redondo Beach Unified School District ("RBUSD")

July 11, 2015 - Jeff Ginsburg invited us [FSDW] to make a presentation to his regular Saturday Neighborhood Meeting. (about 30 people in attendance)

September 10, 2015 – We [FSDW] were invited to make a presentation to the Chamber of Commerce – Local Issues Committee. Subsequent to our meeting the Chamber of Commerce sent the attached letter of endorsement to the Planning Commission.

September 28, 2015 – We [FSDW] invited all neighbors within 300 feet (94 invitations) of the site to an Open House held at the Patterson School cafeteria. (about 25 people in attendance)

At each meeting a short presentation was followed by a question and answer period. We have generated an FAQ (attached) based on the most commonly discussed topics. The balance of discussions pertain to details related to the site plan. Here are the top 10 topics...

1. Make sure there is ample parking so the staff does not park on the street. The neighbors want to be sure this street parking is available primarily for their own use.
2. Adjacent neighbors prefer an 8' block wall vs a 6' block wall along the westerly property line.
3. Avenue "A" neighbors seem to be generally satisfied with the driveway access off Avenue "A" being limited to food service and trash but they continue to be concerned that ~~any~~ additional vehicles will drive up Avenue "A".
4. The Avenue "A" and Knob Hill neighbors are concerned adjustments will be made to accommodate one group at the expense of the other. As you know we have tried to make adjustments for the betterment of the entire neighborhood, not focusing on one or the other.
5. Little has been said about the style of the building, only that they want it to look residential and not commercial.
6. Questions have come up about the emergency vehicles but most people have not disputed the data we quoted from the EIR.
7. Some have the impression the traffic will be substantial. I've [William Shields – FSDW] directed them to the traffic table in the FAQ that indicates the trips that

would be generated by any alternative use. We've also directed them to the Traffic Study included in the EIR.

8. The orientation of the parking along Knob Hill concerns neighbors who will travel that street or have headlights pointed at their building. We've discussed the landscaping explaining that we'll have vines that will grow into the fence along Knob Hill to screen the fronts of the cars and to add color.

9. The request to maintain the site as a school has not come up recently as two of the school board members have done a good job of presenting the Districts position.

10. The path of the delivery person has concerned some because they want the site fenced to run entirely along the south side. This concern relates to preventing staff from parking on the street and not to the visibility of deliveries occurring for 45 minutes once a week.

I've [William Shields – FSDW] had a number of one-on-one conversations with neighbors who have good questions and reasonable concerns for what will be a significant change in the neighborhood. With the exception of a couple who are entrenched in their position, the general conclusion is the proposed assisted living community is the best use for the site. This conclusion does not suggest there are NO remaining concerns as evidenced by their interest in the plans.

The Kensington of Redondo Beach Project Related FAQ's

Who is Fountain Square Development West?

- Fountain Square Development West ("FSDW") provides development, capital and operational expertise for assisted living projects.
- The four principals have extensive development experience with over 200 assisted living communities completed nationwide
- The group has two operating properties and two properties currently under development on the west coast with two operating properties and two under development on the east coast.

What is it that FSDW proposes to develop?

- FSDW has proposed to develop an Assisted Living community (licensed by the state as a Residential Care Facility for the Elderly).
- The building will be approximately 80,000 square feet, two stories tall with 96 suites. 89 of the suites will have no kitchens (meals will be prepared in a commercial kitchen) and 7 suites will be like apartments with full kitchens for couples, one of whom will need assistance.
- The building will be licensed for 130 residents who need assistance in activities in daily living (eating, bathing, dressing, reminders, mobility, etc.). A portion of the community will be designed to accommodate residents with varying degrees of memory loss (dementia or Alzheimer's).
- The "Day Care" building located at the northwest corner of the property will be renovated to accommodate special events hosted by Kensington and community meetings upon reservation.

Who is the customer for this project?

Assisted Living Resident

- Average age is 83 years old
- Needs assistance with 3 or more activities of daily living (eating, bathing, dressing, reminders, mobility, etc.)
- Needs assistance with transportation
- Seeking socialization, friendship, involvement

Memory Care Resident

- Is no longer able to live alone
- Seeking safety and security
- Kensington is able to provide two distinct programs to accommodate the progression of memory related illnesses.

Family Member

- 45 – 65 year old
- Most often the eldest daughter
- Often lives within a three mile radius of the community

Who will operate the community?

FSDW will contract with Kensington Senior Living who will operate the community. Kensington Senior Living is owned by principals of Fountain Square Development and Kensington Senior Living manages all the properties previously referenced.

Isn't there enough Assisted Living in Redondo Beach already? Was there an assessment done showing that there is a need for this type of amenity in the area?

Actually, there isn't enough. Communities with similar demographics to Redondo Beach and its neighbors have nearly twice as many senior housing units per capita. Today, there are 561 senior housing units either actively operating or under construction in the "shared service area" of Redondo Beach, Manhattan Beach, Hermosa Beach & Torrance. Based on accepted industry guidelines, the community needs 1,041 to meet the needs of its seniors, based on 2015 population and demographics. There is only 1 assisted living community (Silverado) licensed for more than 12 beds in all of Redondo Beach.

Some say the police & fire department will be burdened because it will cause an extraordinary increase in responses, is this true? Won't these additional emergency responses cause a lot more noise for the neighbors?

The Kensington is expected to generate about one call every week and a half for the Redondo Beach fire & EMT response services. This is fewer than would be generated by residential, retail, lodging or office. Because so many of the Kensington's residents will move in from Redondo Beach and the surrounding area, no more than one or two of the calls each month will be incremental to the local emergency services and would not otherwise have been received.

Won't this project create a lot more traffic?

No. As part of the environmental impact review process, a detailed traffic study was conducted by an independent, third-party firm. Page 3 of the 300+ page report summarizes as follows:

- Project "projected to generate approximately 346 daily vehicle trips, 18 vehicles per hour will occur during weekday morning peak hour and 29 vehicles per hour will occur during weekday evening peak hour".
- "area intersections are not projected to be significantly impacted during the peak hours for Existing Plus Project traffic conditions"
- "area intersections are not projected to be significantly impacted during the peak hours for Existing Plus Cumulative Growth Plus Project traffic conditions"

(For more detail see the "ITE (Institute of Traffic Engineers) TRIP GENERATION TABLES" attached as EXHIBIT "A")

How does this project benefit Redondo Beach?

- *Employment.* When operational this facility will employ as many as 130 people, a 1:1 ratio to residents. 20% of these staff members will earn over \$30/hr.
- *Property Taxes.* We estimate that the city of Redondo Beach will directly receive about \$35,000 to \$40,000 per year in property tax revenue.
- *Local purchasing.* The facility will generate approximately \$450,000/yr in revenue to local businesses by purchasing or contracting for the following:
 - Contractors
 - Material suppliers
 - Advertising
 - Hospitality and Personal Services
 - Activities specialists
 - Health Care professionals
 - Business networks and Service Organizations

Did you do any polling of the Redondo Beach Residents?

Yes. In November 2014, Competitive Edge Research, an independent, national polling firm polled 602 Redondo Beach residents. Nearly one-quarter of those polled had a close relative over the age of 75 in or near Redondo Beach. A majority stated they would definitely or probably vote "yes" to approve zoning for the Kensington of Redondo Beach to be built (13.8% were undecided). Finally, 77% of those polled said the following

statement was either "very" or "somewhat" convincing: "[This project] is a good way for the School District to use existing surplus property to pay for educational programs without raising taxes."

School District Related FAQ's

What is happening with 320 Knob Hill?

Redondo Beach Unified School District ("RBUSD") currently leases 320 Knob Hill to the LA County Office of Special Education for \$150,000 per year. The district has joined Fountain Square Development West ("FSDW") in seeking approval to develop the property as an assisted living community, which will be managed by Kensington Senior Living ("KSL"). FSDW will lease the site for \$614,250 per year. To develop the site and for the lease to take effect, the property must be re-zoned (in addition to a number of other approvals) to allow an assisted living use.

How will our schools benefit from leasing 320 Knob Hill to Kensington?

While RBUSD will not decide the use of funds until the money is received, the lease revenue is the equivalent of 7-10 additional teachers and staff. Additionally, lease revenue is highly predictable and decreases the district's dependence on volatile state revenues (which represent over 90% of our funding).

Why is the school district in the business of leasing property?

As prudent financial practice, RBUSD only pays for *ongoing costs* like teachers and books through *ongoing* revenue. 90% of our ongoing revenue comes from state funding, which the district cannot control. Lease revenue is one of the only ongoing revenue levers within our control, and as only \$2.7 million of our \$82 million in revenues last fiscal year came from leases, we need to increase this amount. Leasing our excess property is simply prudent fiscal management.

Why not sell the property?

If we sold the property, under California law we would not be allowed to use the proceeds for ongoing school costs like staff, teachers or books. We would have to allocate the proceeds to maintenance and capital expenditures, at a time when our capital improvements are largely already funded and complete.

RBUSD has avoided the mistakes of other school districts in the South Bay which sold off surplus sites in the 1980s. Those other school districts spent the money long ago and now have no ongoing revenue from those assets. Additionally, since State Budget

shortfalls are financed by reductions in public education, lease revenue has helped us balance our budget and maintain cash flows during lean periods.

Has RBUSD leased property before?

Yes. Here is a list of our surplus properties and their lease amounts:

<u>Property</u>	<u>Tenant</u>	<u>Annual Payment</u>
Fulton School	Valor Christian	\$190,790
Heritage Pointe	Foundation for Affordable Housing	\$175,000
Pep Boys	Pep Boys	\$196,690
Seasons	Linc Housing	\$350,000
Franklin	Beach Cities Child Development	\$ 90,985
RUHS Annex	Beach Cities Health District	<u>\$ 83,448</u>
	TOTAL	\$1,086,913

Won't we need the property to handle increased student enrollment in the area?

No. If 320 Knob Hill were used as a school, its capacity would be around 300 students. Were enrollment in the area to spike by 300 students, RBUSD has the immediate space already to accommodate them at Alta Vista and Tulita Elementary. Based on engineer's inspections, to restore 320 Knob Hill as a 300-student school would require removal of hazardous materials and restoration of the buildings costing taxpayers over \$4 million.

320 Knob Hill was formally deemed "surplus property" *twice* by independent committees - first in 1981, then again in 2007.

What happens down the road if Fountain Square wants to sell Kensington?

By leasing the site, RBUSD retains ownership of the land. If FSDW were to sell the facility, the project's Conditional Use Permit only allows a new owner to use the property as assisted living ("Residential Care Facility for the Elderly") or only those other uses currently permitted within the zone.

For more information contact Billy Shields of Fountain Square at b.shields@fsprops.com or 858-748-0201, or David Witkin of the RBUSD Board of Education at dwitkin@rbusd.org or 917-523-6383.

EXHIBIT "A"

ITE TRIP GENERATION TABLE

LAND USE	Independent Variable	Weekday	Weekend	Peak AM Hr Weekday	Peak PM Hr Weekday	Peak Hour Weekend	Size Factor	Weekday Traffic
Super Market	per 1000 sq. ft.	102.24	177.59	7.07	8.37	18.93	10	1022
Residential Condos	per Dwelling Unit	5.81	5.67	0.44	0.52	0.47	100	581
Assisted Living	per Occupied Bed	2.74	2.44	0.23	0.37	0.41	130	356
Private School K - 12	per Student	2.48	N/A	0.81	0.58	N/A	300	744

PRINCIPALS OF FOUNTAIN SQUARE DEVELOPMENT WEST

Dave Faeder - Managing Member

- Former President and Vice Chairman of Sunrise
- 30 years of experience in real estate finance and development

Dan Gorham - Member

- Responsible for capital structuring and investor relations
- Raised in excess of \$2.5 B of joint venture equity for development, acquisitions and sales of senior housing
- Financed or refinanced in excess of \$5 billion of senior living communities nationally and internationally

Billy Shields - Member

- Led Sunrise Development and Construction for 7 years as EVP, completing 90 communities representing \$2.25 Billion in project cost
- Initiated development of Sunrise's West Coast portfolio of 50 communities

Tiffany Tomasso - Member

- Over 25 years of experience in the operations, marketing and development of senior housing communities
- Led Sunrise operations as EVP and COO
- Led team of 40,000+ employees both domestically & internationally



September 22, 2015

Redondo Beach Planning Commission
Nick Biro
415 Diamond St
Redondo Beach, CA 90277



Dear Commissioner Biro and Members of the Redondo Beach Planning Commission:

The Redondo Beach Chamber of Commerce & Visitors Bureau is in support of the Redondo Beach Unified School District's (RBUSD) plan to re-zone 320 Knob Hill, a surplus school district property, to allow use as an assisted living facility.

RBUSD's plan is a win-win-win for our schools, our city's economy and our seniors. The proposal to lease the property to Fountain Square Development West will generate \$614,000 in ongoing lease revenue, enough to hire 7-10 additional teachers and staff, without raising taxpayer dollars.

The proposed assisted living facility, *The Kensington*, expects to generate over \$450,000 per year in business for the local economy through the purchase of materials, advertising, and contracting services. *The Kensington* will help address Redondo's critical need for additional licensed assisted living - currently; there is only 1 assisted living community, Silverado, in all of Redondo Beach.

The Kensington will be licensed by the state as a Residential Care Facility for the Elderly. It will be a two-story building spanning approximately 80,000 square feet, with 96 suites, licensed for 130 residents and will provide 70 parking spaces for staff and visitors.

Lease revenue is one of RBUSD's only predictable revenue streams, and leasing surplus property is a prudent fiscal decision for the school district. Increasing this amount will not only strengthen the district's budget without requiring tax increases, but will also make RBUSD's financial picture less volatile.

With increasing enrollment, RBUSD will need to hire more teachers to keep class sizes small; they can only do this with an ongoing revenue stream beyond what the state provides. Over 90% of RBUSD's \$82 million in revenue comes from state funding, which is notoriously volatile. Moreover, the temporary tax increase authorized by Proposition 30 begins expiring Dec. 31, 2016, which will result in a reduction of over \$3.4 million to the RBUSD budget.

The new facility will also directly generate \$35,000-45,000 per year for the City in property tax revenue without causing a drain on city services. Moreover, because none of the residents are likely to drive, the net impact on traffic compared to other uses - a school, supermarket or residential housing - is highly favorable.

Finally, Redondo needs more senior housing, and it particularly needs more assisted living beds. Communities with similar demographics to Redondo actually have nearly twice as many senior housing units per capita.

For these reasons, we support the project and urge you and your colleagues to approve it.

Sincerely,

Marna Smeltzer
President / CEO

CITY CLERK'S OFFICE
REDONDO BEACH CALIFORNIA

15 SEP 22 10 57

RECEIVED